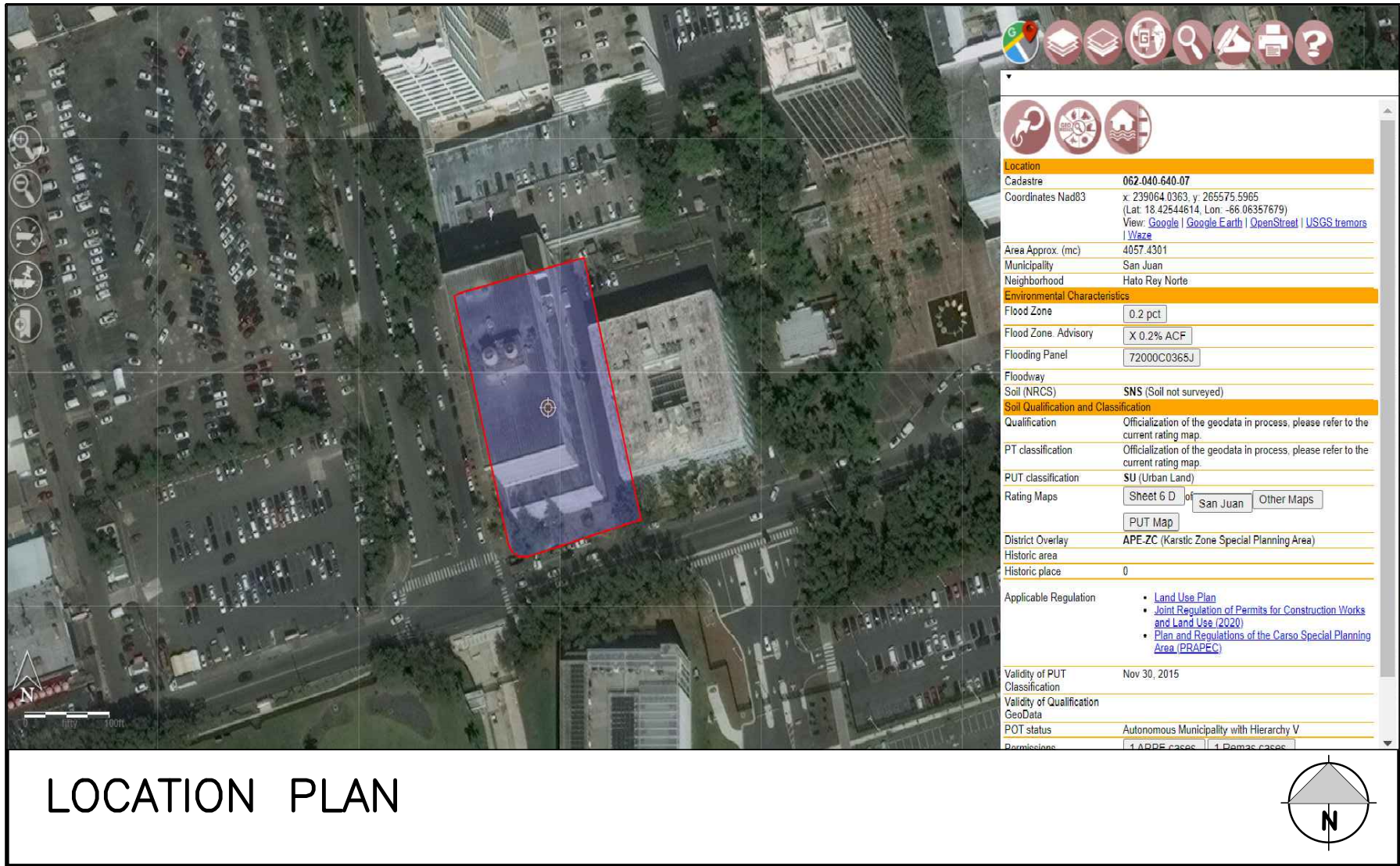


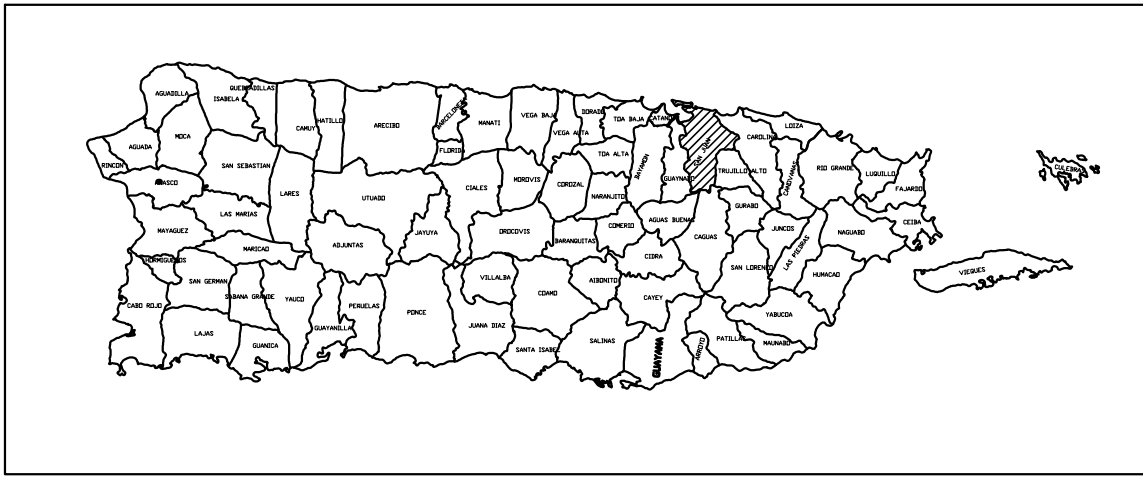
IMPROVEMENTS ACAA BUILDING 8TH FLOOR

255-273 AVENIDA DE LA CONSTITUCION

SAN JUAN, PUERTO RICO



LOCATION PLAN



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REVISIONS		
No.	DESCRIPTION	DATE
1	ADDENDA	1-23-23

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TITLE AND INDEX SHEET

YO, HERNAN R. HERNANDEZ ARQUITECTO LICENCIADO, NUMERO DE LICENCIA 7647, CERTIFICO QUE SOY EL PROFESIONAL QUE DISEÑO ESTOS PLANOS Y LAS ESPECIFICACIONES COMPLEMENTARIAS. TAMBIEN CERTIFICO QUE ENTENDIENDO QUE DICHS PLANOS Y ESPECIFICACIONES CUMPLEN CON LAS DISPOSICIONES APLICABLES DEL REGLAMENTO CONJUNTO Y LAS DISPOSICIONES APLICABLES DE LOS REGLAMENTOS Y CODIGOS DE LAS AGENCIAS, JUNTAS REGULADORAS O CORPORACIONES PUBLICAS CON JURISDICCION, RECONOZCO QUE CUALQUIER DECLARACION FALSA O FALSIFICACION DE LOS HECHOS QUE SE HAYA PRODUCIDO SIN CONOCIMIENTO O POR NEGLIGENCIA YA SEA POR MI, MIS AGENTES O EMPLEADOS, O POR OTRAS PERSONAS CON MI CONOCIMIENTO, ME HACEN RESPONSABLE DE CUALQUIER ACCION JUDICIAL Y DISCIPLINARIA POR LA DOPN Y OTRAS AUTORIDADES COMPETENTES, INCLUYENDO, PERO SIN LIMITARSE, A LA TERMINACION DE LA PARTICIPACION EN LOS PROCEDIMIENTOS DE CERTIFICACION PROFESIONAL EN LA OGP.



SCALE		DRAWING No.	
PROJECT No.		T-1.0	
DATE		SHEET No.	
JAN 2021			

GENERAL NOTES:

1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING FIELD CONDITIONS PRIOR TO ACTUAL CONSTRUCTION OR INSTALLATION. IN CASE OF ANY DISCREPANCY WITH THE CONSTRUCTION DOCUMENTS, OR DOUBTS AS TO THE INTERPRETATION OF SAID DOCUMENTS, THE ARCHITECT SHALL BE IMMEDIATELY NOTIFIED AND CONSULTED FOR CLARIFICATION PRIOR TO CONSTRUCTION OR INSTALLATION.
2. CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY DAMAGES INFLECTED TO THE OWNER'S PROPERTY OR OTHER AREAS DURING THE EXECUTION OF THE WORK.
3. THE CONTRACTOR SHALL SUBMIT TO THE ARCHITECT ALL SHOP DRAWINGS FOR REVIEW PRIOR TO COMMENCEMENT OF THE WORK.
4. ALL MATERIALS AND CONSTRUCTION METHODS USED MUST COMPLY WITH ALL GOVERNING REGULATIONS AS SET FORTH BY THE PUERTO RICO PLANNING BOARD, AND ALL OTHER CONCERNED REGULATORY AGENCIES.
5. NEW CONSTRUCTION INCLUDING CONCRETE, MASONRY, PLASTER, DOORS, FRAMES, AND MISCELLANEOUS UNFINISHED METALS (OTHER THAN STAINLESS STEEL) SHALL BE PAINTED UNLESS OTHERWISE INDICATED.
6. THE CONSTRUCTION SITE SHALL BE MAINTAINED REASONABLY NEAT AND FREE FROM EXCESSIVE ACCUMULATION OF TRASH AND DEBRIS. ALL TRASH, DEBRIS, RUBBISH, ETC SHALL BE PROMPTLY REMOVED FROM SITE AND DISPOSED OF IN A LEGAL MANNER.
7. ALL STEEL CONSTRUCTION ELEMENTS ARE TO BE PRIMED WITH GALVANIZED METAL PRIMER AND PAINTED WITH AT LEAST TWO COATS OF ACRYLIC URETHANE ENAMEL. COLORS WILL BE DETERMINED BY ARCHITECT PRIOR TO COMMENCEMENT OF THE WORK.
8. ALL INTERIOR WALLS TO RECEIVE VINYL ACRYLIC LATEX PAINT COLORS WILL BE DETERMINED BY ARCHITECT PRIOR TO COMMENCEMENT OF THE WORK.
9. ALL EXTERIOR CONCRETE AND MASONRY TO RECEIVE ACRYLIC LATEX PAINT BY MANUFACTURER. COLORS WILL BE DETERMINED BY ARCHITECT PRIOR TO COMMENCEMENT OF THE WORK.
10. BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED INSURANCE CERTIFICATES WITH THE DEPARTMENT OF BUILDINGS, AND OBTAIN ALL REQUIRED PERMITS.
11. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT REQUIRED FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED IF THEY WERE INDICATED IN THE DRAWINGS.
12. THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH THE STIPULATIONS OF LOCAL AUTHORITIES, BUILDING MANAGEMENT OR BOARD OF DIRECTORS.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. THE CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL OR REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK.
14. THE CONTRACTOR SHALL LAY OUT HIS OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES: PLUMBING ELECTRICAL, ETC.
15. PLUMBING WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR AND OBTAIN THROUGH THE DEPARTMENT OF BUILDINGS ALL REQUIRED PERMITS, INSPECTIONS, AND REQUIRED SIGN OFFS.
16. ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR AND OBTAIN THROUGH THE BUREAU ELECTRICAL CONTROL ALL REQUIRED PERMITS, INSPECTIONS AND REQUIRE DESIGNS OFFS.
17. THE CONTRACTOR SHALL DO ALL CUTTING, PATCHING, REPAIRING, AS REQUIRED TO PERFORM ALL OF THE WORK INDICATED ON THE DRAWINGS, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB.

Abbreviations

ABC	above counter
ABV	above
A/C	air conditioning
ACT	acoustical tile
ACV	air conditioning and ventilation
ADJ	adjacent
ADJT	adjustable
AFF	above finished floor
AGG	aggregate
BD	board
BLDG	building
BLK	block
BM	bench mark
BO	by others
BOB	bottom of beam
CAB	cabinet
CPT	carpet tile
CB	catch basin
CEM	cement
CER	ceramic
CHT	ceiling height
CIR	circle
CL	center line
CLG	ceiling
CO	clean out
COL	column
CONC	concrete
CONT	continuous
CT	ceramic tile
CW	cold water
DBL	double
DEM	demolish/demolition
DET	detail
DF	drinking fountain
DIA	diameter
DIM	dimension
DN	down
DR	door
DWG	drawing
EC	electrical closet
E.J.	expansion joint
ELEC	electric (al)
EMER	emergency
ENC	enclosure
EQ	equal
EST	estimate
ETC	etceteras
EXP	exposed
EXT	exterior
FAI	fresh air intake
FBO	furnished by others
FD	floor drain
FE	fire extinguisher
FFE	finished floor elevation
FFL	finished floor line
FH	full height
FIN	finish/finished
FL	floor
FLG	flashing

GA	gauge	QT	quarry tile
GALV	galvanized	QTY	quantity
GC	general contractor	R	riser
GL	glass	RAD	radius
GRD	ground	REF	reference
GYP	gypsum	REL	relocated
HB	hose bibb	REV	revision (s)
HC	hollow core	RH	right of way
HDC	handicapped	RM	room
HDW	hardware	ROW	right of way
HM	hollow metal	R.L.	rain leader
HOR	horizontal	S	south
HT	height	SHT	sheet
HW	hot water	SIM	similar
ID	inside	SPCP	smooth portland cement plaster
INT	interior	SST	stainless steel
IP	interior paint	STA	station
INV	invert	STD	standard
JAN	janitor	STL	steel
JC	janitors closet	STOR	storage
		SYM	symmetry
KIT	kitchen	T	toilet
KO	knockout	T	tread
		TEL	telephone
L	length	THK	thick/thickness
LAM	laminated	T.O.	trimmed opening
LAV	lavatory	TOW	top of wall
LH	left hand	TYP	typical
LVR	louver		
M	meter (s)	UNF	unfinished
MAINT	maintenance	UR	urinal
MAS	masonry	U.O.N.	unless otherwise noted
MAX	maximum		
MECH	mechanical	VERT	vertical
MFG	manufacturer	VJ	v-joint (ed)
MH	manhole	V.I.F.	verify in field
MIN	minimum	VT	vinyl tile
MISC	miscellaneous	W	west
MO	masonry opening	WB	wall base
MTD	mounted	WC	water closet
MTL	material	WD	wood
		WH	wall hung
N	north	WIN	window
NAT	natural	WO	without
NO	nominal		
NTS	not to scale	YD	yard drain
N.I.C.	not included in contract		
OA	overall		
OC	on center		
OD	outside diameter		
OH	overhead		
OPP	opposite		
PL	plate		
PL	property line		
PLAS	plaster		
P T	pressure treated		

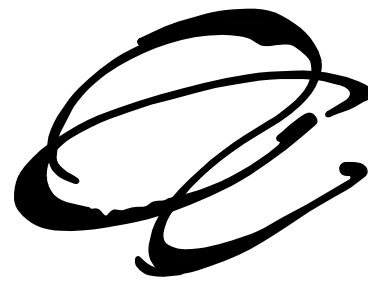
ARCHITECTURAL SYMBOLS:

	NEW STRUCTURAL WALLS
	NEW CONCRETE BLOCK WALL THICKNESS AS PER CONSTRUCTION PLAN.
	NEW GYPSUM BOARD WALL THICKNESS AS PER CONSTRUCTION PLAN.
	AXIS LINES
	MAIN FLOOR ELEVATION
	CHANGE IN FLOOR ELEVATION
	CHANGE IN FLOOR FINISH
	SLOPE
	NOTES/REFERENCE

REFERENCE SYMBOLS:

	LETTER OR NUMERAL DESIGNATION
	BUILDING SECTION
	SHEET WHERE FOUND
	NUMERAL DESIGNATION
	WALL SECTION
	SHEET WHERE FOUND
	NUMERAL DESIGNATION
	EXTERIOR ELEVATIONS
	SHEET WHERE FOUND
	DETAIL NUMERAL DESIGNATION
	DETAIL
	SHEET WHERE FOUND
	LETTER DESIGNATION
	INTERIOR ELEVATION
	SHEET WHERE FOUND
	FINISH CODE
	ROOM NUMBER/FINISH CODE
	ROOM NUMBER
	NUMBER DESIGNATION
	DOORS
	DOOR TYPE
	WINDOWS
	LETTER DESIGNATION

ABACUS



ARCHITECTURE PSC

CONSULTANT

PROJECT NAME

IMPROVEMENTS ACAA BUILDING 8TH FLOOR
255-273 AVENIDA DE LA CONSTITUCION
SAN JUAN, PUERTO RICO

REVISIONS		
No.	DESCRIPTION	DATE
1	ADDENDA	1-23-23

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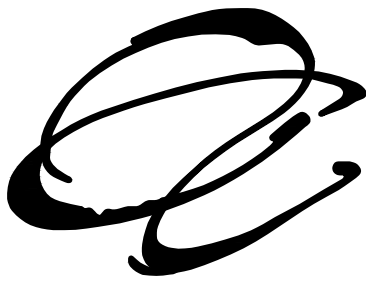
DRAWING TITLE

GENERAL NOTES

SCALE	DRAWING No.
PROJECT No.	G-1.0
DATE	SHEET No.

YO, HERNAN R. HERNANDEZ, ARQUITECTO, LICENCIADO, NUMERO DE LICENCIA 7647, CERTIFICO QUE SOY EL PROFESIONAL QUE DISEÑO ESTOS PLANOS Y LAS ESPECIFICACIONES COMPLEMENTARIAS. TAMBIEN CERTIFICO QUE ENTiendo QUE DICHO PLANOS Y ESPECIFICACIONES CUMPLEN CON LAS DISPOSICIONES APLICABLES DEL REGLAMENTO CONJUNTO Y LAS DISPOSICIONES APLICABLES DE LOS REGLAMENTOS Y CODIGOS DE LAS AGENCIAS, JUNTAS REGLAMENTADORAS O CORPORACIONES PUBLICAS CON JURISDICCION, RECONOCIENDO QUE CUALQUIER DECLARACION FALSA O FALSIFICACION DE LOS HECHOS QUE SE HAYA PRODUCIDO SIN CONOCIMIENTO O POR NEGLIGENCIA VA SEA POR MI, MIS AGENTES O EMPLEADOS, O POR OTRAS PERSONAS CON MI CONOCIMIENTO, ME HACEN RESPONSABLE DE CUALQUIER ACCION JUDICIAL Y/O CRIMINAL POR LA OGPY Y OTRAS AUTORIDADES COMPETENTES, INCLUYENDO, PERO SIN LIMITARSE, A LA TERMINACION DE LA PARTICIPACION EN LOS PROCEDIMIENTOS DE CERTIFICACION PROFESIONAL EN LA OGPY.





PROJECT NAME

IMPROVEMENTS ACAA BUILDING 8TH FLOOR
255-273 AVENIDA DE LA CONSTITUCION
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REVISIONS		
No.	DESCRIPTION	DATE

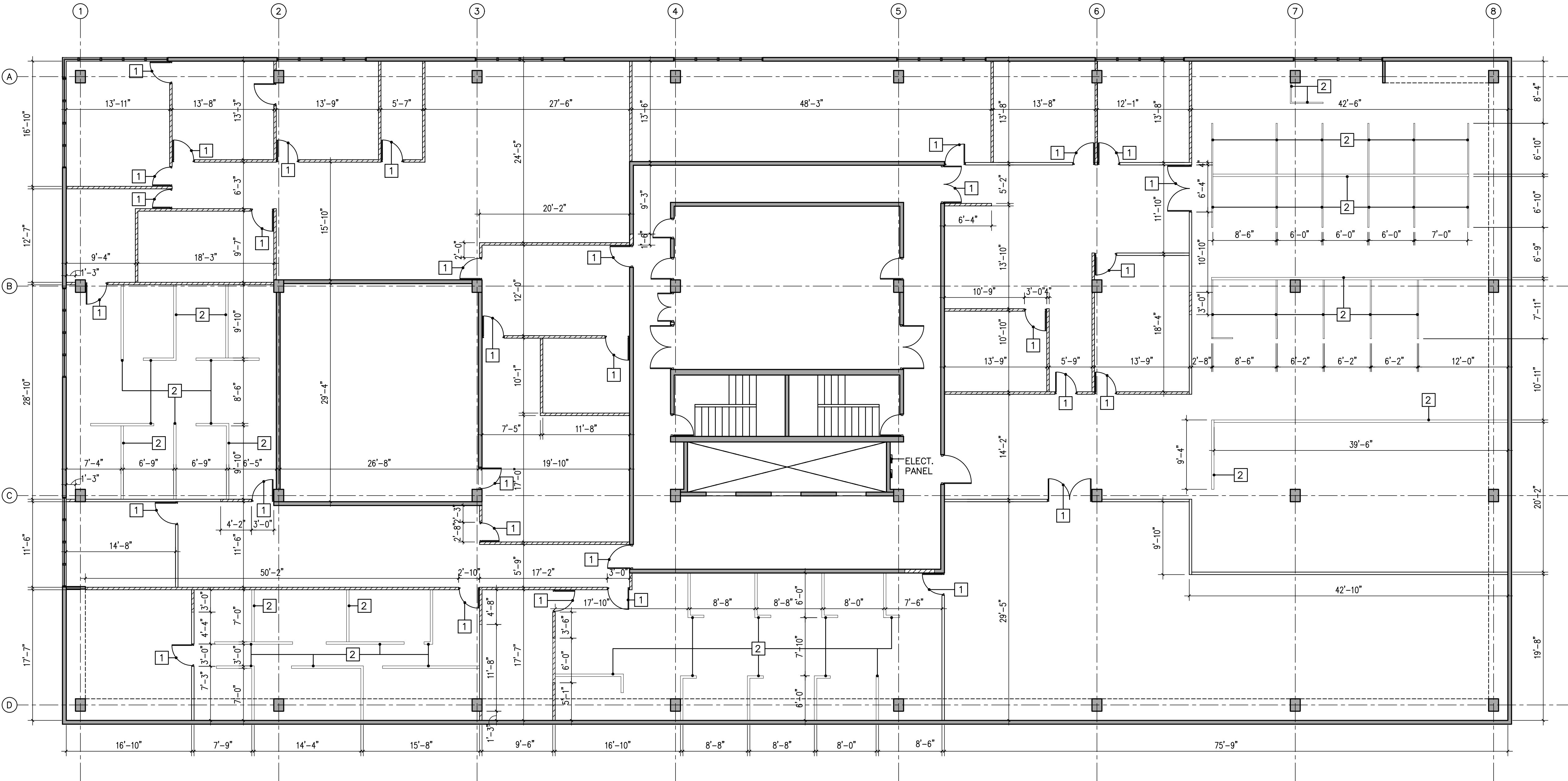
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8TH FLOOR EXISTING AND
DEMOLITION PLAN

SCALE 1/8"=1'-0"	DRAWING No. DP-1.0
PROJECT No.	SHEET No.
DATE	



8TH FLOOR EXISTING AND DEMOLITION PLAN
SCALE: 1/8" = 1'-0"

DEMOLITION NOTES

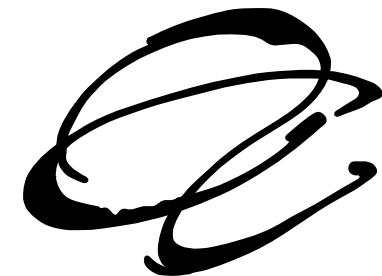
1. THE CONTRACTOR, BEFORE THE START OF THE WORK, VERIFY ALL DIMENSIONS AND CONDITIONS EXISTING AT THE PROJECT SITE AND NOTIFY TO THE ARCHITECT OF ANY DISCREPANCY BETWEEN THE EXISTING CONDITIONS AND THE DOCUMENTS OF THE CONTRACT THAT COULD AFFECT THE PROGRAM AND/OR THE ADEQUATE PERFORMANCE OF DEMOLITION WORK AND CONSTRUCTION.
2. THE CONTRACTOR SHALL DISPOSE OF ALL EXISTING DEBRIS AND WASTE MATERIALS FROM OFF-SITE DEMOLITION WORK AS INSTRUCTED BY THE OWNER.
3. THE CONTRACTOR SHALL BE LIABLE FOR ANY DAMAGE CAUSED TO THE OWNER'S PROPERTY OR OTHER AREAS REMAINING DURING THE DEMOLITION AND CONSTRUCTION PHASES. DAMAGED ITEMS WILL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
4. DEMOLITION AND REMOVAL SHALL BE CARRIED OUT IN AN ORGANISED MANNER AND THE RELEASE OF DUST AND DEBRIS INTO THE AIR SHALL BE AVOIDED.
5. THE CONTRACTOR SHALL SCHEDULE AND COORDINATE WITH THE OWNER ALL WORK TO BE PERFORMED IN THE AREAS IN CURRENT USE, SO AS NOT TO INTERFERE WITH NORMAL DAILY OPERATIONS.

DEMOLITION LEGEND

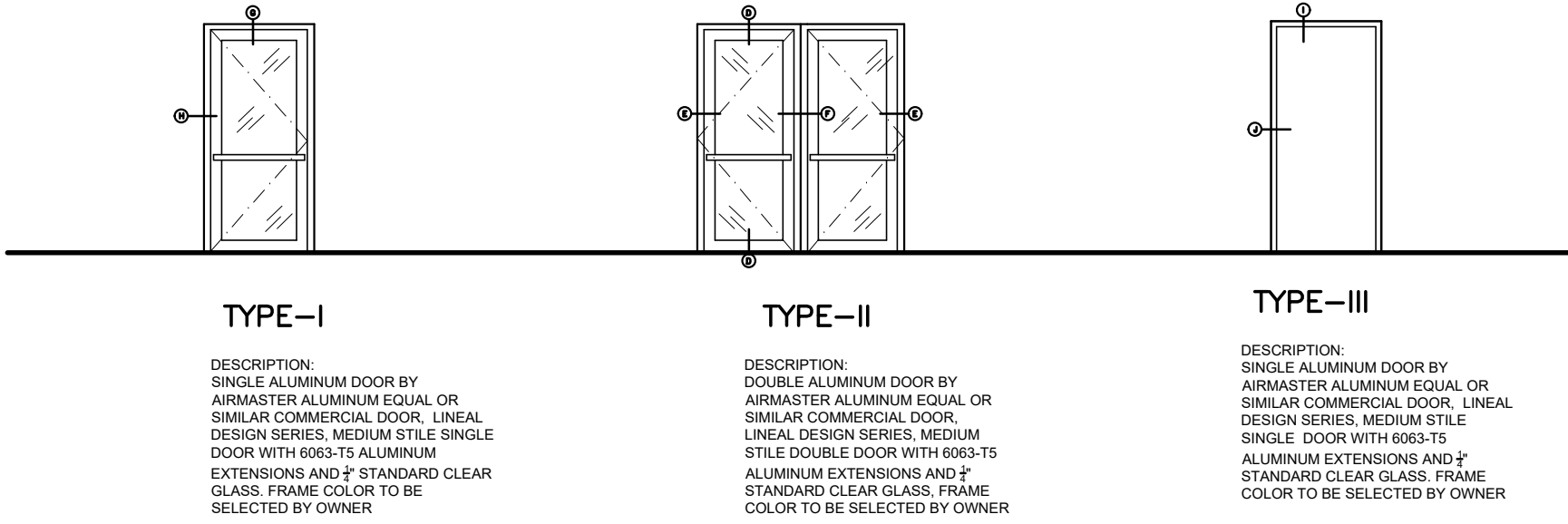
- EXISTING AREA TO BE DEMOLISHED
- GYPSUM WALL TO BE DEMOLISHED
- EXISTING GYPSUM WALL TO REMAIN
- DOOR TO BE REMOVED AND DISPOSED
- LOW PARTITION WALL TO BE REMOVED AND DISPOSED

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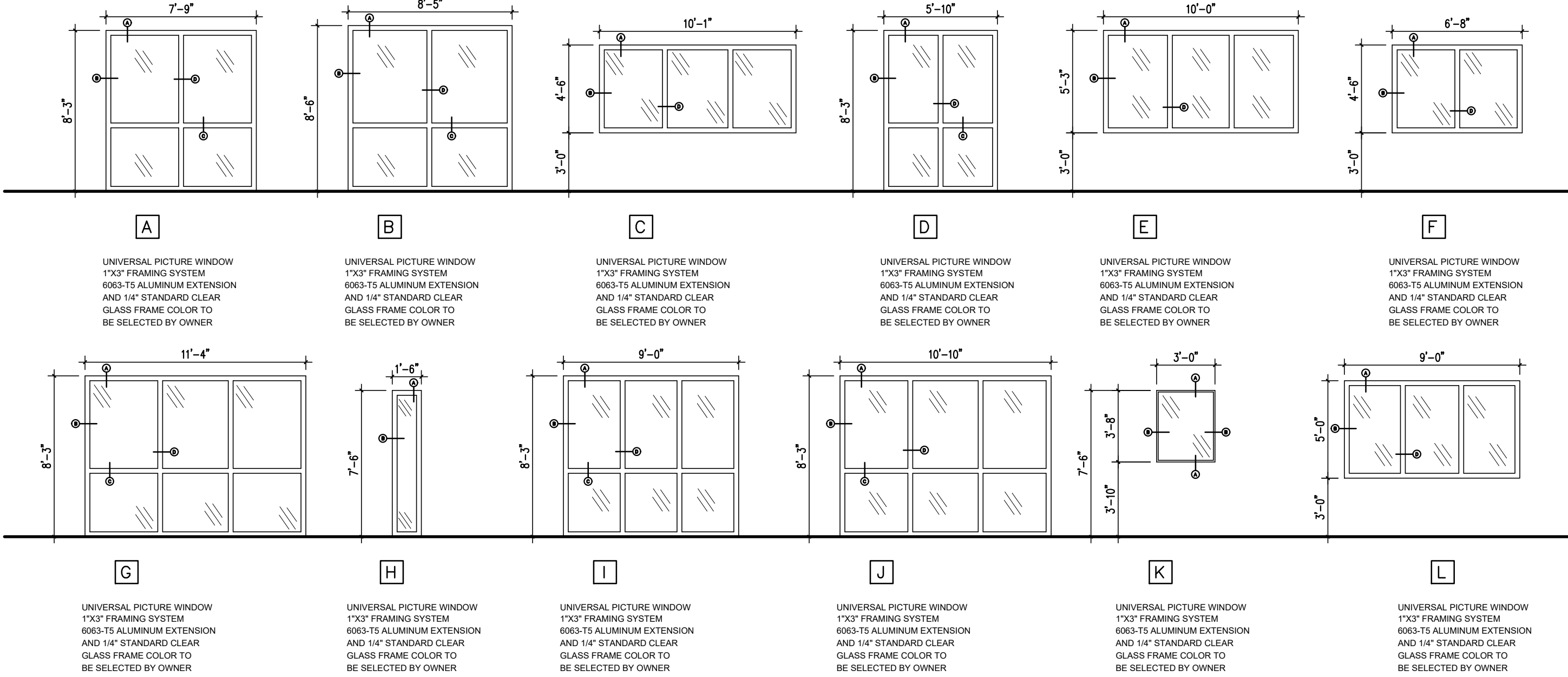




DOORS



WINDOWS



FINISH NOTES:

FLOOR TYPES:

CPT 1: BY CUADRADO ALFOMBRAS. MANUFACTURER SHAW CONTRACT GROUP STYLE CHROMATONE TILE 5T444 COLOR AQUA SILVER 07327.

LVT 1: BY CUADRADO ALFOMBRAS. MANUFACTURER SHAW CONTRACT GROUPSTYLE BRANDING OUT 4256V COLOR ZION OAK 56103.

LVT 2: BY CUADRADO ALFOMBRAS. MANUFACTURER SHAW CONTRACT GROUPSTYLE PIGMENT DIRECT GLUE 0503V COLOR CHARCOAL 65595

LVT 3: BY CUADRADO ALFOMBRAS. MANUFACTURER SHAW CONTRACT GROUPSTYLE PIGMENT DIRECT GLUE 0503V COLOR GREY 65530

BASES:

WB1: WALLBASE BURKBASE TYPE TP4" COLOR BLACK.

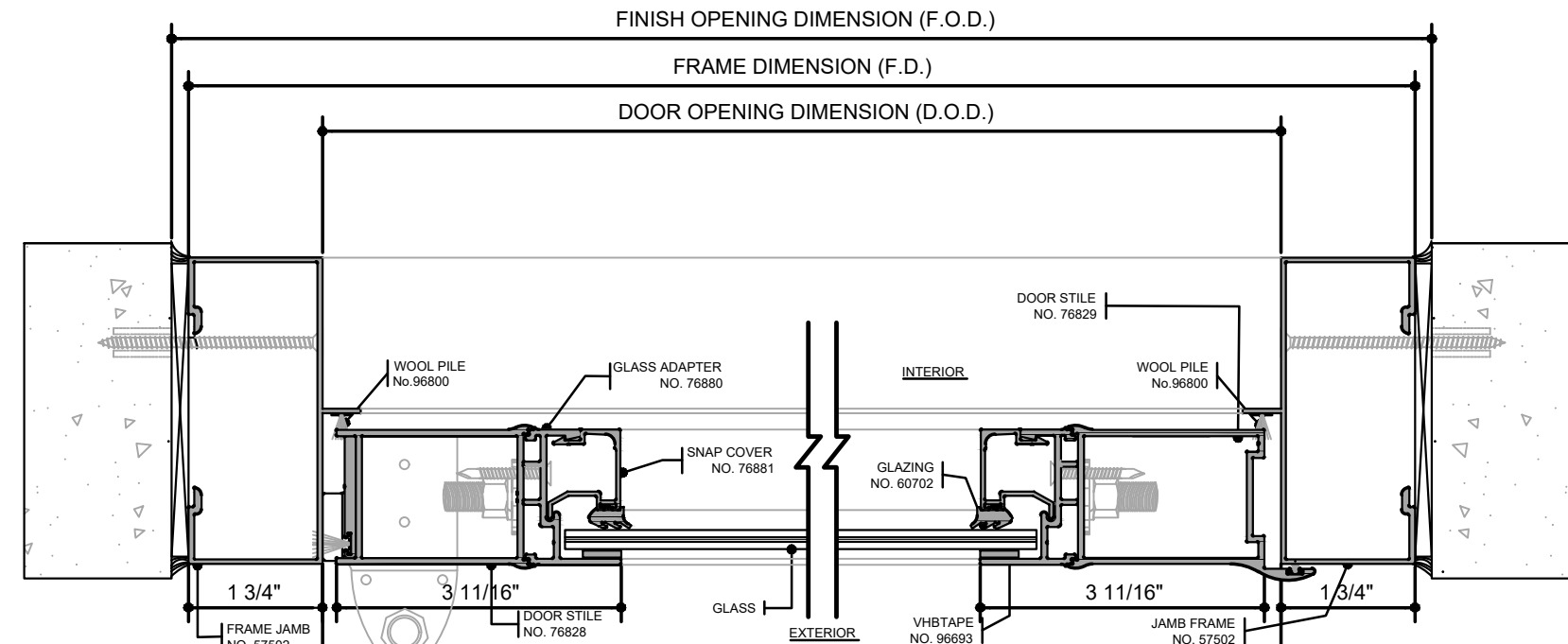
PAINTS:

IP1: SHERWIN-WILLIAMS, COLOR SW 6254 LAZY GRAY SATIN/EG-SHEL FINISH.
IP2: ACRYLIC LATEX ENAMEL PAINT W/ FLAT FINISH

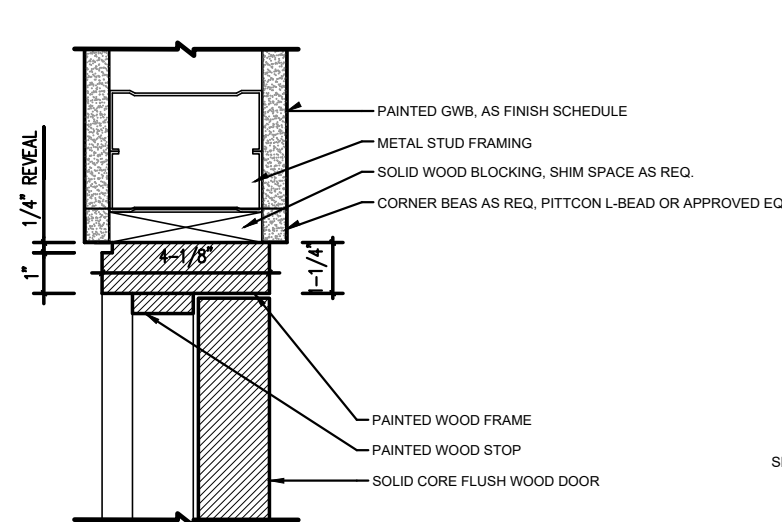
CEILINGS:

2'X2'X3/4"ACOUSTICAL CEILING TILE W/15/16" HOT DIPPED GALV. GRID EQ. TO SIMILAR

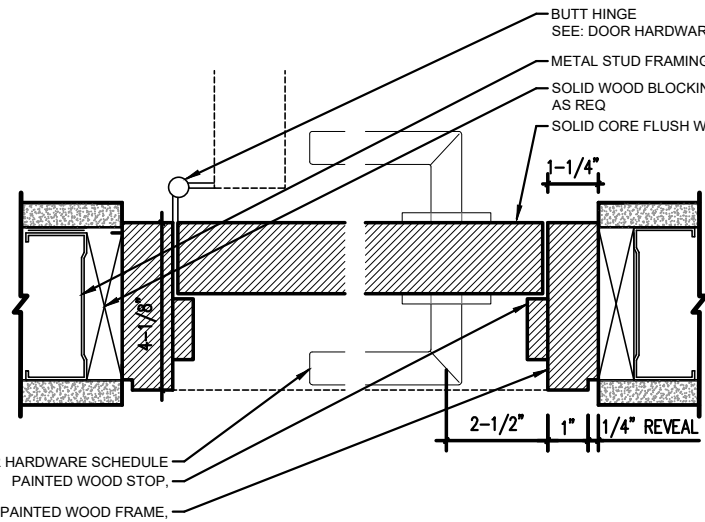
DOOR HARDWARE SCHEDULE									
TYPE	HARDWARE SET								
A	HARDWARE SET #1	1	pin	CYLINDER	3960-360	BY DOOR MANUFACTURER	HAG		
		1	pin	LOCK			HAG		
		1	pin	STOP			HAG		
		1	pin	STOP			HAG		
B	HARDWARE SET #2	4	pin	HINGES	ECB1100 4.5 X 4.5 260 NRP		HAG		
		1	pin	LOCK	2500 WTN 260		HAG		
		1	pin	CLOSER	5300 MTL ALUM		HAG		
		1	pin	STOP	5300 MTL ALUM		HAG		
C	HARDWARE SET #3	4	pin	HINGES	ECB1100 4.5 X 4.5 260 NRP		HAG		
		1	pin	LOCK	2500 WTN 260		HAG		
		1	pin	CLOSER	5300 MTL ALUM		HAG		
		1	pin	STOP	5300 MTL ALUM		HAG		
D	HARDWARE SET #4	4	pin	HINGES	ECB1100 4.5 X 4.5 260 NRP		HAG		
		1	pin	LOCK	2500 WTN 260		HAG		
		1	pin	CLOSER	5300 MTL ALUM		HAG		
		1	pin	STOP	5300 MTL ALUM		HAG		
E	HARDWARE SET #5	4	pin	HINGES	ECB1100 4.5 X 4.5 260 NRP		HAG		
		1	pin	LOCK	2500 WTN 260		HAG		
		1	pin	CLOSER	5300 MTL ALUM		HAG		
		1	pin	STOP	5300 MTL ALUM		HAG		
F	HARDWARE SET #6	4	pin	HINGES	ECB1100 4.5 X 4.5 260 NRP		HAG		
		1	pin	LOCK	2500 WTN 260		HAG		
		1	pin	CLOSER	5300 MTL ALUM		HAG		
		1	pin	STOP	5300 MTL ALUM		HAG		
G	HARDWARE SET #7	4	pin	HINGES	ECB1100 4.5 X 4.5 260 NRP		HAG		
		1	pin	LOCK	2500 WTN 260		HAG		
		1	pin	CLOSER	5300 MTL ALUM		HAG		
		1	pin	STOP	5300 MTL ALUM		HAG		
H	HARDWARE SET #8	4	pin	HINGES	ECB1100 4.5 X 4.5 260 NRP		HAG		
		1	pin	LOCK	2500 WTN 260		HAG		
		1	pin	CLOSER	5300 MTL ALUM		HAG		
		1	pin	STOP	5300 MTL ALUM		HAG		
I	HARDWARE SET #9	4	pin	HINGES	ECB1100 4.5 X 4.5 260 NRP		HAG		
		1	pin	LOCK	2500 WTN 260		HAG		
		1	pin	CLOSER	5300 MTL ALUM		HAG		
		1	pin	STOP	5300 MTL ALUM		HAG		
J	HARDWARE SET #10	4	pin	HINGES	ECB1100 4.5 X 4.5 260 NRP		HAG		
		1	pin	LOCK	2500 WTN 260		HAG		
		1	pin	CLOSER	5300 MTL ALUM		HAG		
		1	pin	STOP	5300 MTL ALUM		HAG		
K	HARDWARE SET #11	4	pin	HINGES	ECB1100 4.5 X 4.5 260 NRP		HAG		
		1	pin	LOCK	2500 WTN 260		HAG		
		1	pin	CLOSER	5300 MTL ALUM		HAG		
		1	pin	STOP	5300 MTL ALUM		HAG		
L	HARDWARE SET #12	4	pin	HINGES	ECB1100 4.5 X 4.5 260 NRP		HAG		
		1	pin	LOCK	2500 WTN 260		HAG		
		1	pin	CLOSER	5300 MTL ALUM		HAG		
		1	pin	STOP	5300 MTL ALUM		HAG		



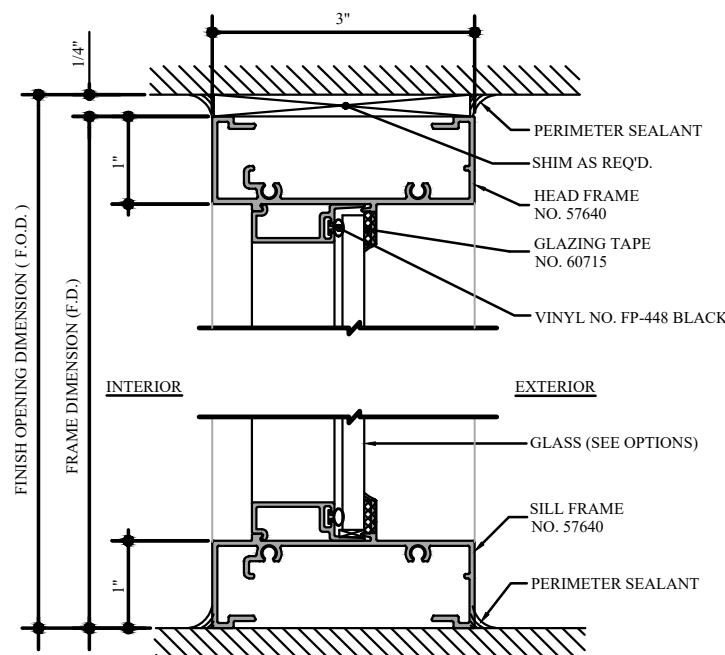
TYP. ALUMINUM FRAME SECTION H
SCALE: N.T.S.



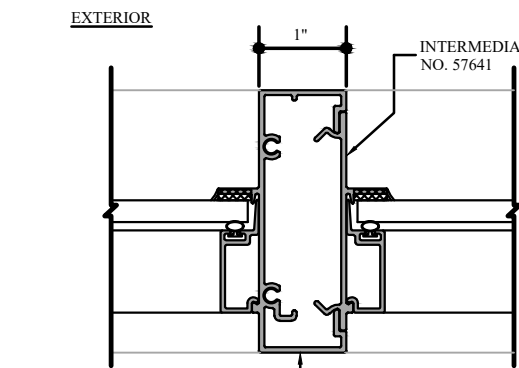
TYP. WOOD HEAD SECTION I
SCALE: N.T.S.



TYP. WOOD JAMBS SECTION J
SCALE: N.T.S.

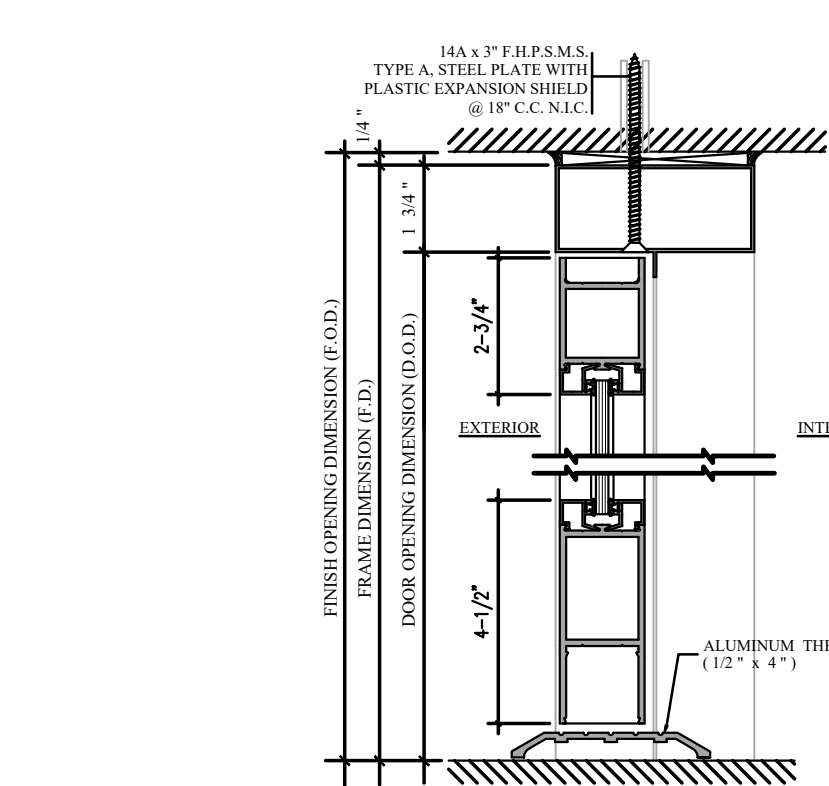


TYP. ALUMINUM FRAME SECTION A
SCALE: N.T.S.



TYP. ALUMINUM FRAME SECTION B
SCALE: N.T.S.

TYP. ALUMINUM FRAME SECTION C
SCALE: N.T.S.



TYP. ALUMINUM FRAME SECTION D
SCALE: N.T.S.

TYP. ALUMINUM FRAME SECTION E
SCALE: N.T.S.

TYP. ALUMINUM FRAME SECTION F
SCALE: N.T.S.

TYP. ALUMINUM FRAME SECTION G
SCALE: N.T.S.

TYP. ALUMINUM FRAME SECTION H
SCALE: N.T.S.

TYP. ALUMINUM FRAME SECTION I
SCALE: N.T.S.

TYP. ALUMINUM FRAME SECTION J
SCALE: N.T.S.

TYP. ALUMINUM FRAME SECTION K
SCALE: N.T.S.

TYP. ALUMINUM FRAME SECTION L
SCALE: N.T.S.

TYP. ALUMINUM FRAME SECTION M
SCALE: N.T.S.

TYP. ALUMINUM FRAME SECTION N
SCALE: N.T.S.

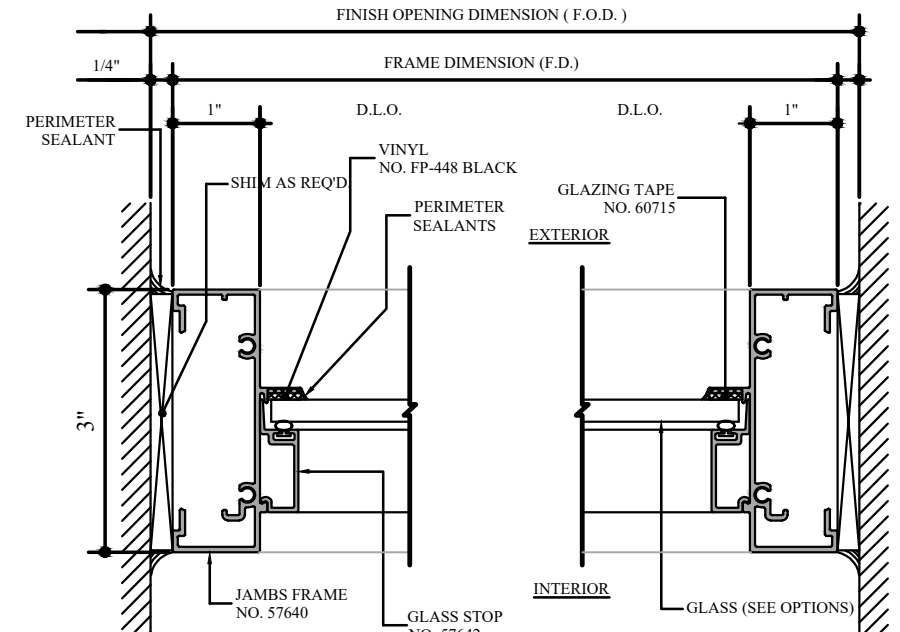
TYP. ALUMINUM FRAME SECTION O
SCALE: N.T.S.

TYP. ALUMINUM FRAME SECTION P
SCALE: N.T.S.

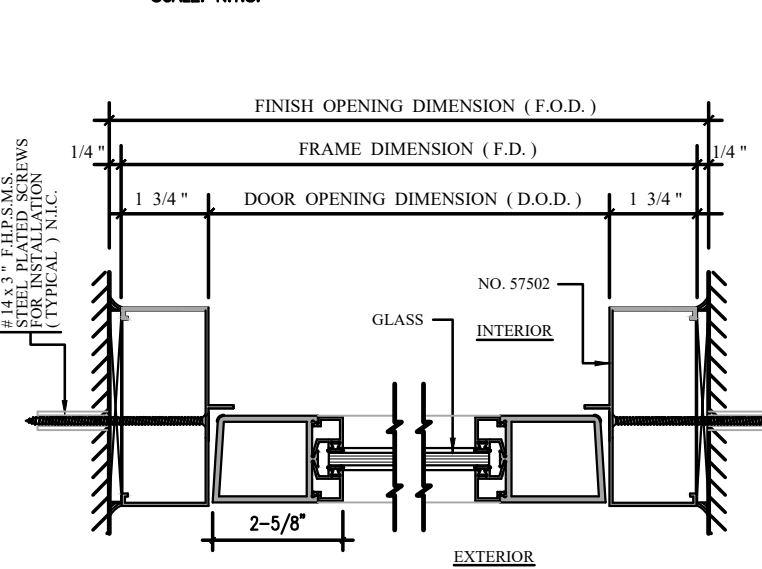
TYP. ALUMINUM FRAME SECTION Q
SCALE: N.T.S.

TYP. ALUMINUM FRAME SECTION R
SCALE: N.T.S.

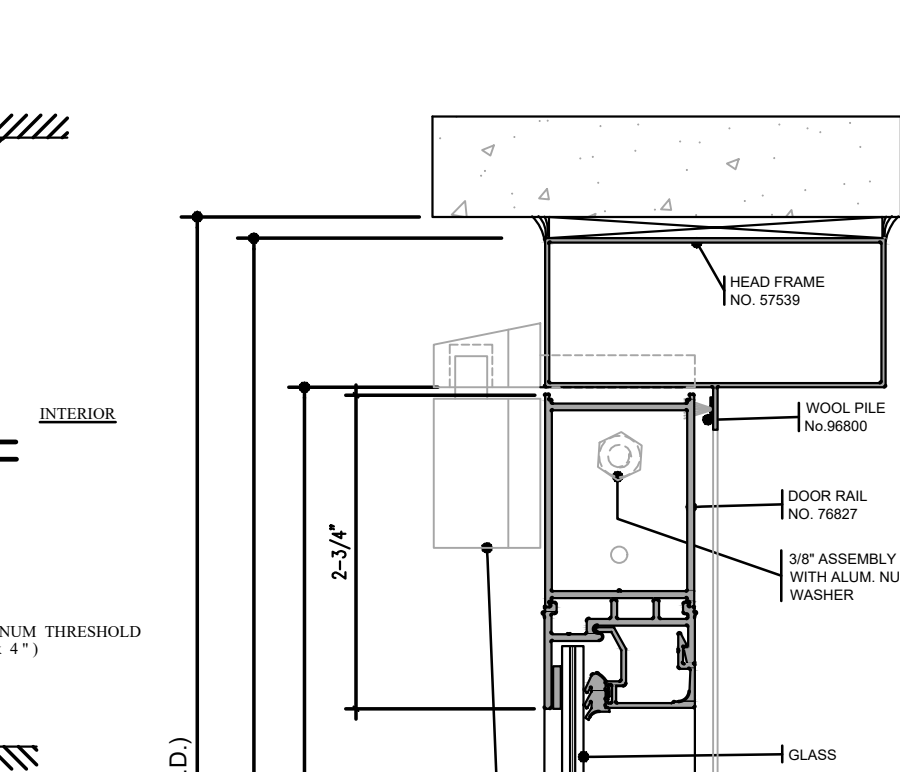
SCHEDULE OF FINISHES									
MKD	FLOORS	BASE	WALLS	CEILINGS	* REMARKS				
					1. CONTRACTOR SHALL SUBMIT SAMPLES OF MATERIALS FOR ARCHITECT APPROVAL				
A-800	●	●	●	●	●	●	●	●	●
A-801	●	●	●	●	●	●	●	●	●
A-802	●	●	●	●	●	●	●	●	●
A-803	●	●	●	●	●	●	●	●	●
A-804	●	●	●	●	●	●	●	●	●
A-805	●	●	●	●	●	●	●	●	●
A-806	●	●	●	●	●	●	●	●	●
A-807	●	●	●	●	●	●	●	●	●
A-808	●	●	●	●	●	●	●	●	●
A-809	●	●	●	●	●	●	●	●	●
A-810	●	●	●	●	●	●	●	●	●
A-811	●	●	●	●	●	●	●	●	●
A-812	●	●	●	●	●	●	●	●	●
A-813	●	●	●	●	●	●	●	●	●
A-814	●	●	●	●	●	●	●	●	●
A-815	●	●	●	●	●	●	●	●	●
A-816	●	●	●	●	●	●	●	●	●
A-817	●	●	●	●	●	●	●	●	●
A-818	●	●	●	●	●	●	●	●	●
A-819	●	●	●	●	●	●	●	●	●
A-820	●	●	●	●	●	●	●	●	●
A-821	●	●	●	●	●	●	●	●	●
A-822	●	●	●	●	●	●	●	●	●
A-823	●	●	●	●	●	●	●	●	●
A-824	●	●	●	●	●	●	●	●	●
A-825	●	●	●	●	●	●	●	●	●
A-826	●	●	●	●	●	●	●	●	●
A-827	●	●	●	●	●	●	●	●	●
A-828	●	●	●	●	●	●	●	●	●
A-829	●	●	●	●	●	●	●	●	●
A-830	●	●	●	●	●	●	●	●	●
A-831	●	●	●	●	●	●	●	●	●
A-832	●	●	●	●	●	●	●	●	●
A-833	●	●	●	●	●	●	●	●	●
A-834	●	●	●	●	●	●	●	●	●
A-835	●	●	●	●	●	●	●	●	●
A-836	●	●	●	●	●	●	●	●	●
A-837	●	●	●	●	●	●	●	●	●
A-838	●	●	●	●	●	●	●	●	●
A-839	●	●	●	●	●	●	●	●	●
A-840	●	●	●	●	●	●	●	●	●
A-841	●	●	●	●	●	●	●	●	●



TYP. ALUMINUM FRAME SECTION B
SCALE: N.T.S.



TYP. ALUMINUM FRAME SECTION E
SCALE: N.T.S.



TYP. ALUMINUM FRAME SECTION D
SCALE: N.T.S.

TYP. ALUMINUM FRAME SECTION E
SCALE: N.T.S.

TYP. ALUMINUM FRAME SECTION F
SCALE: N.T.S.

TYP. ALUMINUM FRAME SECTION G
SCALE: N.T.S.

TYP. ALUMINUM FRAME SECTION H
SCALE: N.T.S.

TYP. ALUMINUM FRAME SECTION I
SCALE: N.T.S.

TYP. ALUMINUM FRAME SECTION J
SCALE: N.T.S.

TYP. ALUMINUM FRAME SECTION K
SCALE: N.T.S.

TYP. ALUMINUM FRAME SECTION L
SCALE: N.T.S.

TYP. ALUMINUM FRAME SECTION M
SCALE: N.T.S.

TYP. ALUMINUM FRAME SECTION N
SCALE: N.T.S.

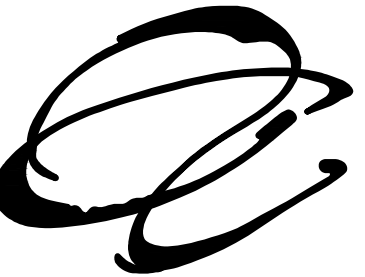
TYP. ALUMINUM FRAME SECTION O
SCALE: N.T.S.

TYP. ALUMINUM FRAME SECTION P
SCALE: N.T.S.

TYP. ALUMINUM FRAME SECTION Q
SCALE: N.T.S.

TYP. ALUMINUM FRAME SECTION R
SCALE: N.T.S.

YO, HERNAN R. HERNANDEZ ARQUITECTO LICENCIADO, NUMERO DE LICENCIA 7847, CERTIFICO QUE SOY EL PROFESIONAL QUE DISEÑO ESTOS PLANOS Y LAS ESPECIFICACIONES COMPLEMENTARIAS. TAMBIEN CERTIFICO QUE ENTENDIENDO QUE DICHO PLANOS Y ESPECIFICACIONES CUMPLEN CON LAS DISPOSICIONES APLICABLES DEL REGLAMENTO CONJUNTO Y LAS DISPOSICIONES APLICABLES DE LOS REGLAMENTOS Y CODIGOS DE LAS AGENCIAS, JUNTAS REGLAMENTADORAS O CORPORACIONES PUBLICAS CON JURISDICCION, RECONOZCO QUE CUALQUIER DECLARACION EN LA FALSIFICACION DE LOS HECHOS QUE SE HAYA PRODUCIDO SIN CONOCIMIENTO O POR NEGLIGENCIA YA SEA POR MI, MIS AGENTES O EMPLEADOS, O POR OTRAS PERSONAS CON MI CONOCIMIENTO, ME HACEN RESPONSABLE DE CUALQUIER ACCION JUDICIAL Y DISCIPLINARIA POR LA COPA Y OTRAS AUTORIDADES COMPETENTES, INCLUYENDO, PERO SIN LIMITARSE A LA TERMINACION DE LA PARTICIPACION EN LOS PROCEDIMIENTOS DE CERTIFICACION PROFESIONAL EN LA OGP.



REVISIONS		
No.	DESCRIPTION	DATE
1	ADDENDA	1-23-23

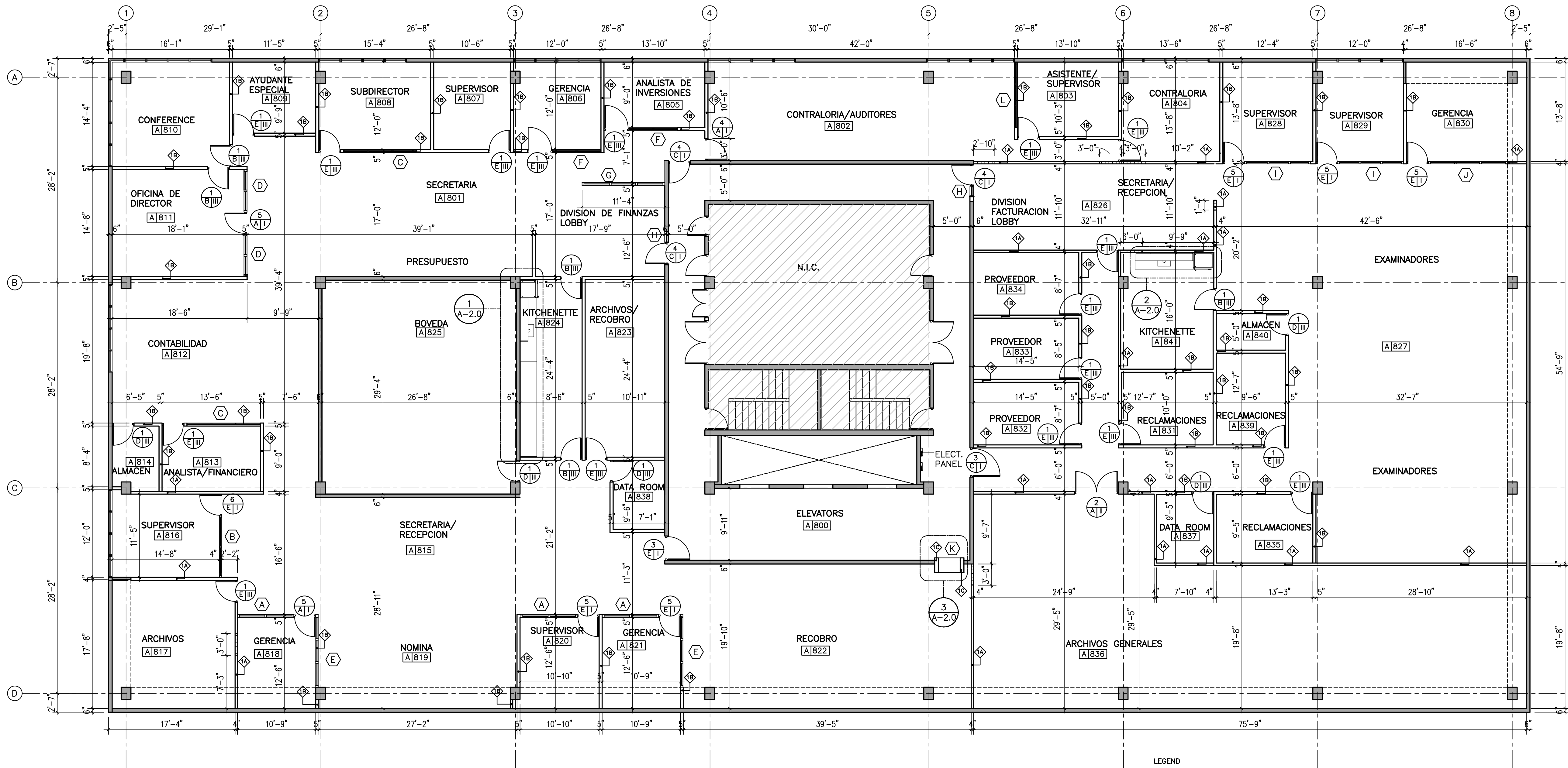
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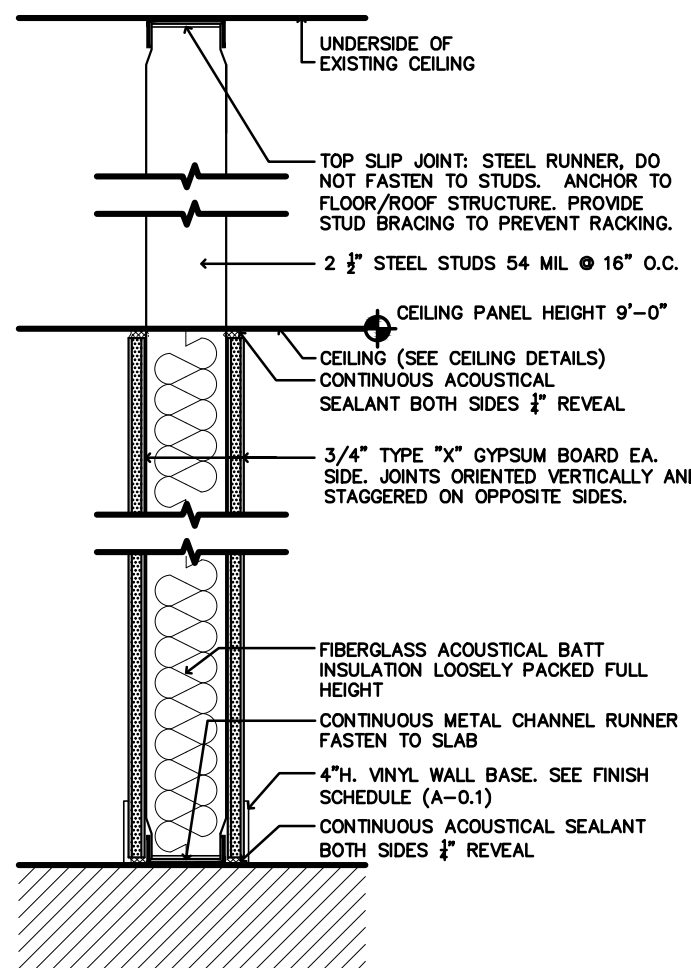
8TH FLOOR PLAN

SCALE	AS NOTED	DRAWING No.
PROJECT No.		A-1.0
DATE		SHEET No.

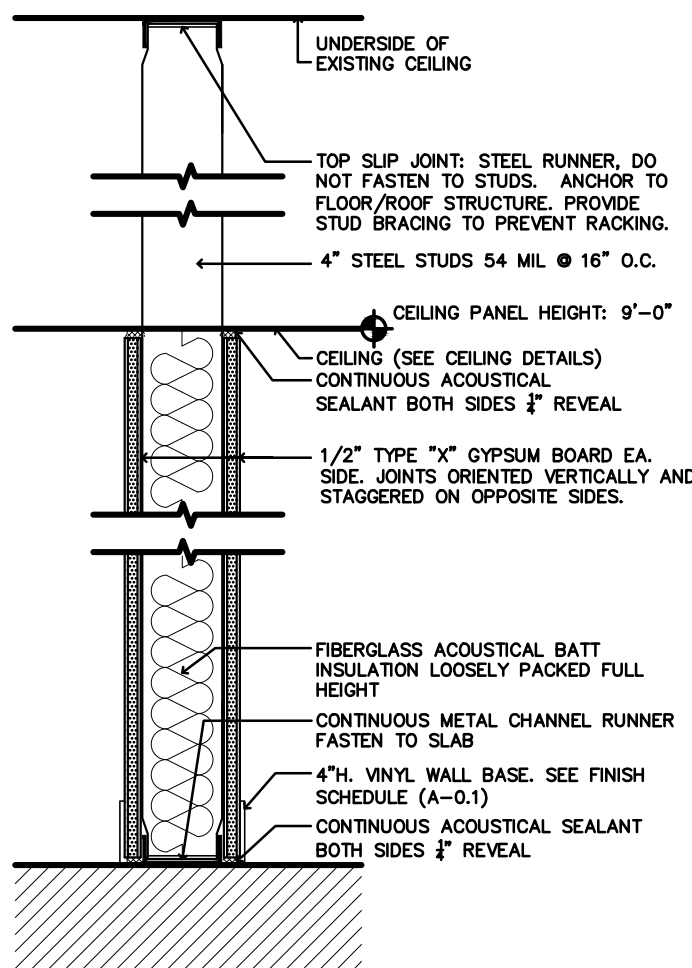


8TH FLOOR PLAN
SCALE: 1/8" = 1'-0"

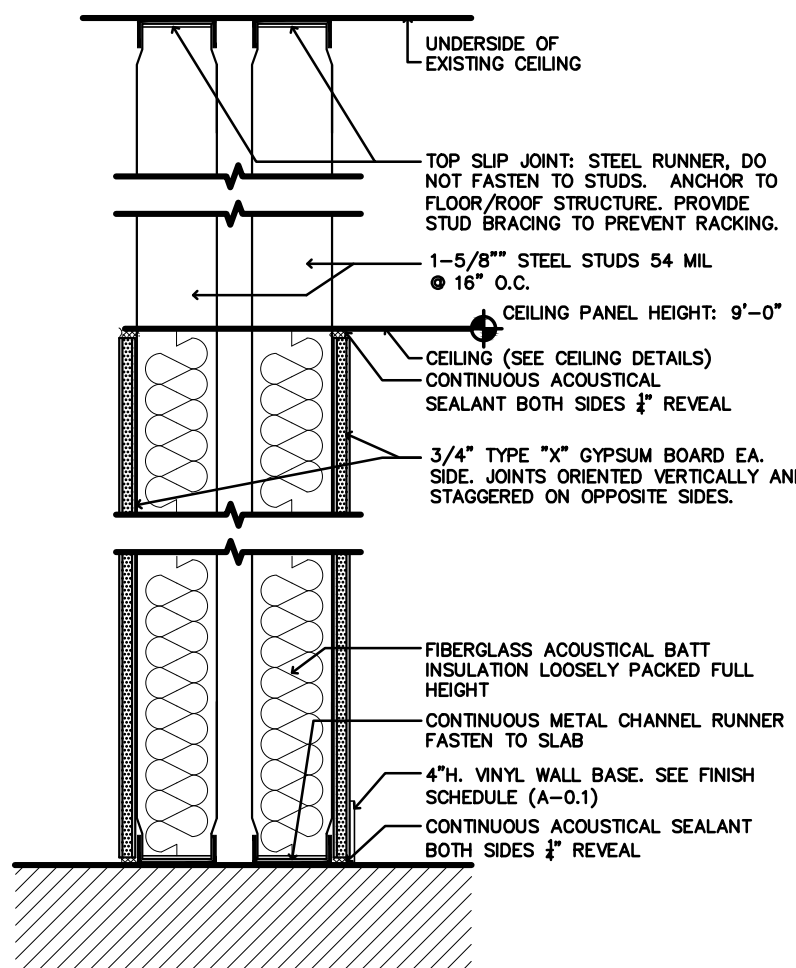
LEGEND	
	GYPSUM BOARD WALL AND PARTITIONS FOR DETAIL SEE DETAIL-1
	NEW GYPSUM WALL FILL



1A PARTITION WALL DETAIL
SCALE: 3/4" = 1'-0"



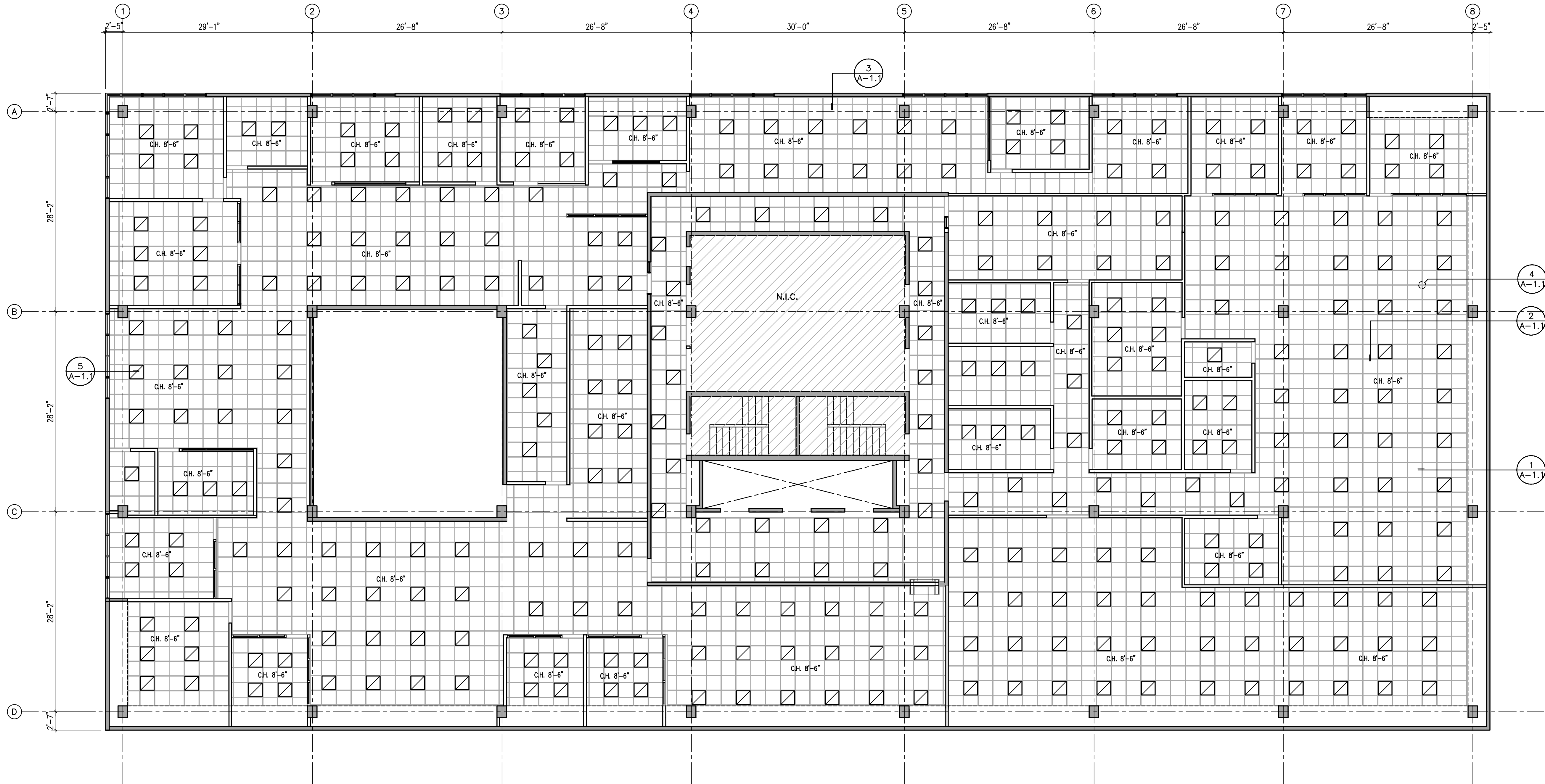
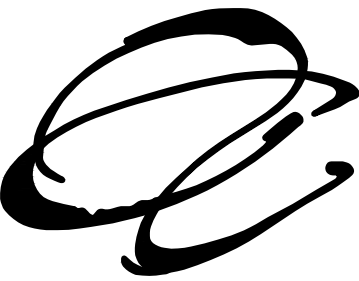
1B PARTITION WALL DETAIL
SCALE: 3/4" = 1'-0"



1C PARTITION WALL DETAIL
SCALE: 3/4" = 1'-0"

YO, HERNAN R. HERNANDEZ ARQUITECTO LICENCIADO, NUMERO DE LICENCIA 7847, CERTIFICO QUE SOY EL PROFESIONAL QUE DISEÑO ESTOS PLANOS Y LAS ESPECIFICACIONES COMPLEMENTARIAS. TAMBIEN CERTIFICO QUE ENTENDIENDO QUE DICHOS PLANOS Y ESPECIFICACIONES CUMPLEN CON LAS DISPOSICIONES APLICABLES DEL REGLAMENTO CONANTO Y LAS DISPOSICIONES APLICABLES DE LOS REGLAMENTOS Y CODIGOS DE LAS AGENCIAS, JUNTAS REGLAMENTADORAS O CORPORACIONES PUBLICAS CON JURISDICCION, RECONOZCO QUE CUALQUIER DECLARACION FALSA O FALSIFICACION DE LOS HECHOS QUE SE HAYA PRODUCIDO SIN CONSENTIMIENTO O POR NEGLIGENCIA YA SEA POR MI, MIS AGENTES O EMPLEADOS, O POR OTRAS PERSONAS CON MI CONOCIMIENTO, ME HACEN RESPONSABLE DE CUALQUIER ACCION JUDICIAL Y DISCIPLINARIA POR LA CGP y OTRAS AUTORIDADES COMPETENTES, INCLUIDO, PERO SIN LIMITARSE, A LA TERMINACION DE LA PARTICIPACION EN LOS PROCEDIMIENTOS DE CERTIFICACION PROFESIONAL EN LA OGP.



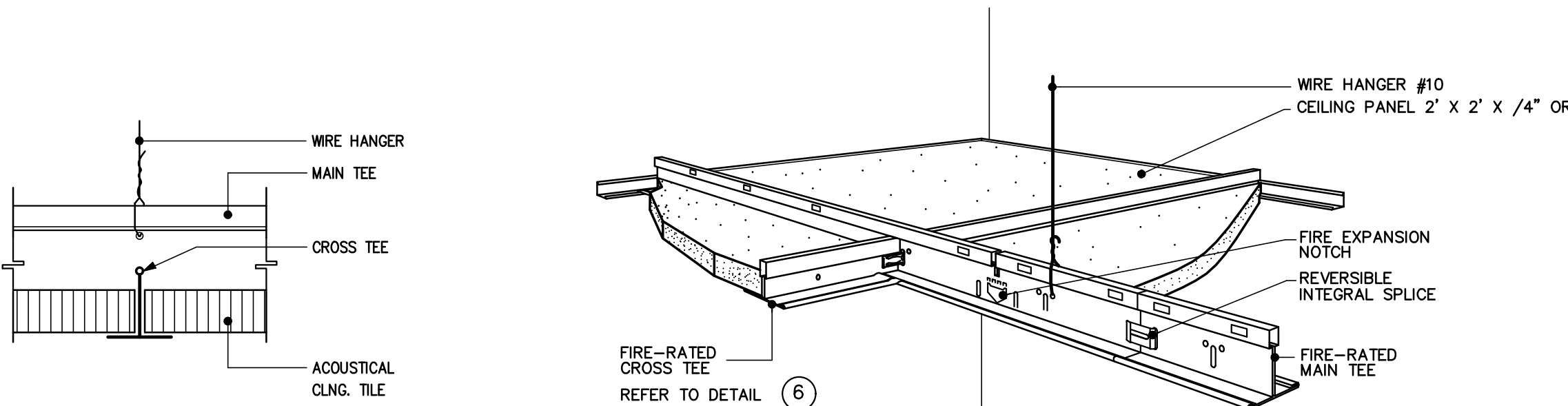


PROPOSED 8TH FLOOR REFLECTED CEILING
SCALE: 1/8" = 1'-0"

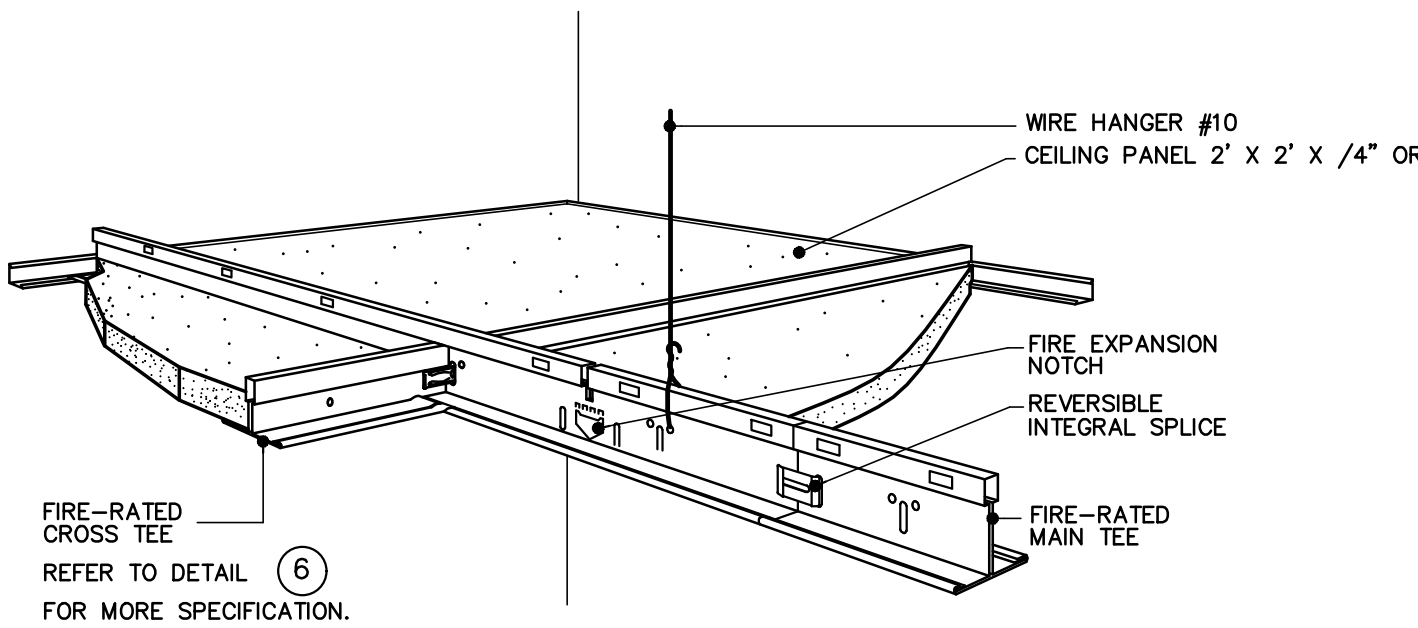
LIGHTING LEGEND:

- 2 X 2 RECESSED FLUORESCENT LIGHT FIXTURE
- C.H. X'-X" CEILING HEIGHT ABOVE FINISHED FLOOR
- 2 X 2 ACOUSTICAL CEILING TILE REFER TO FINISH SCHEDULE.

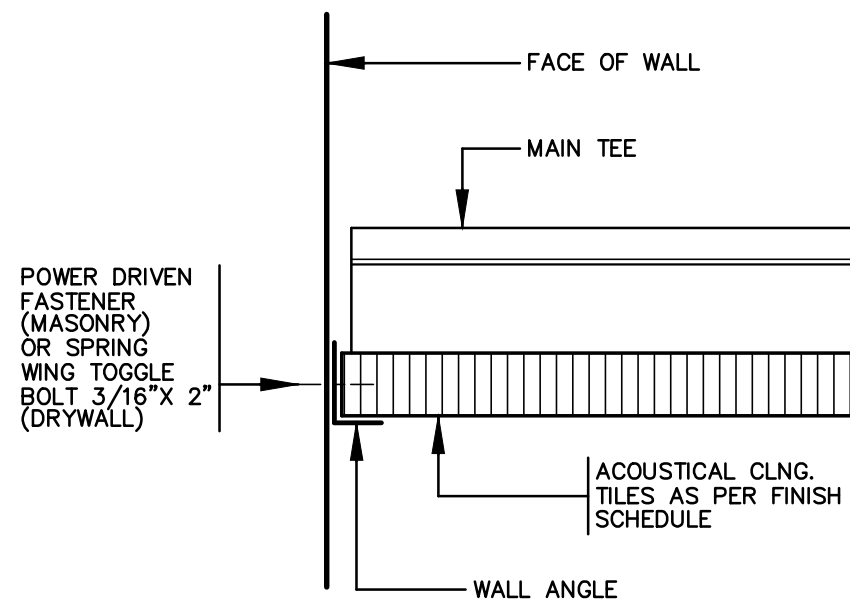
- NOTES:
- GC SHALL COORDINATE FINAL LOCATIONS OF ALL LIGHT FIXTURES W/ ARCHITECT PRIOR TO INSTALLATION.
 - WHERE CEILING IS OPEN TO STRUCTURE, APPLY 100% K-13 SPRAY-ON ACOUSTICAL CEILING SYSTEM AS PER MANUFACTURER'S RECOMMENDATIONS. COLOR: GRAY.
 - REFER TO ELECTRICAL DWGS. FOR LIGHT FIXTURE SPECIFICATIONS.



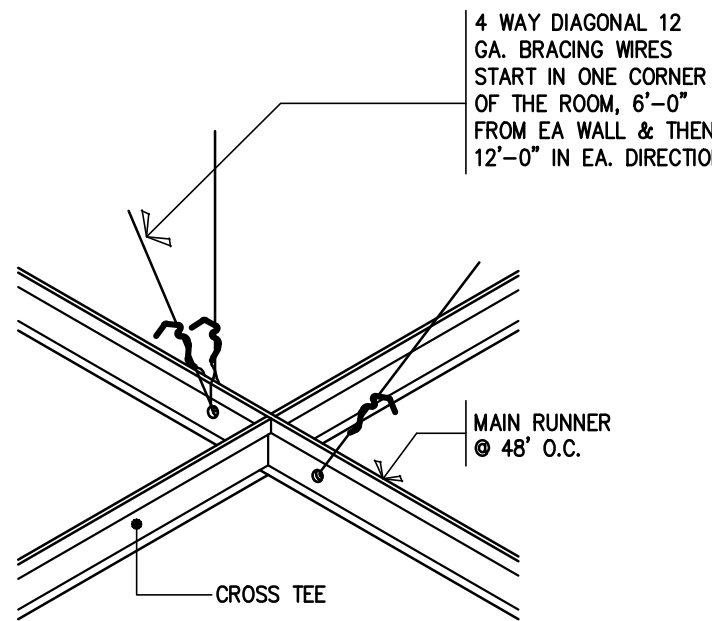
DETAIL MKD 1
N.T.S.



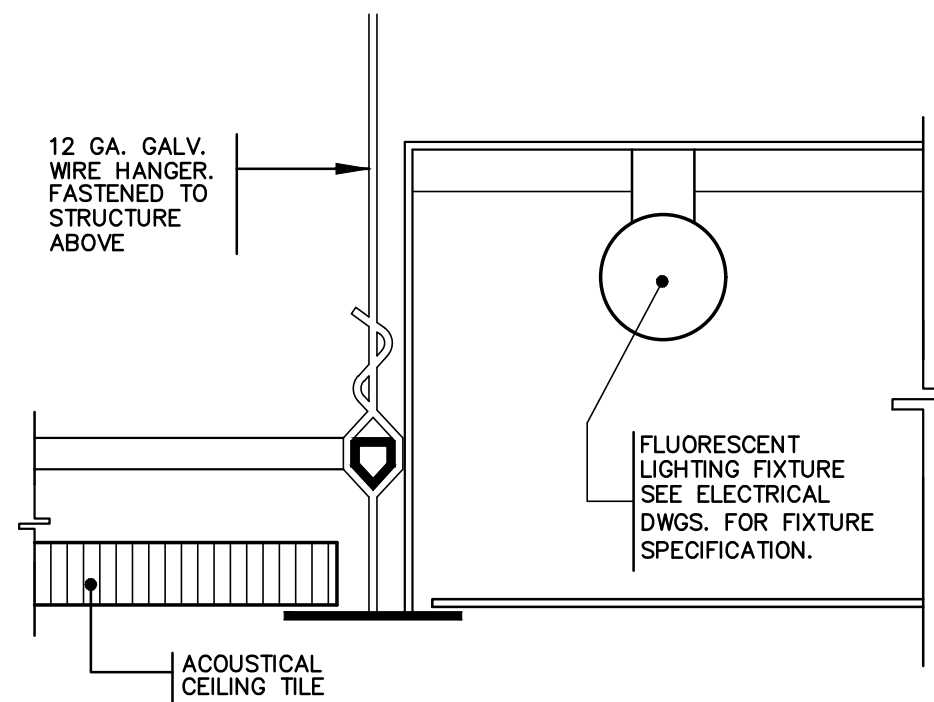
ACOUSTICAL HUNG CEILING DET. 2
N.T.S.



DETAIL MKD 3
N.T.S.



DETAIL MKD 4
N.T.S.



DETAIL MKD 5
N.T.S.

REVISIONS		
No.	DESCRIPTION	DATE

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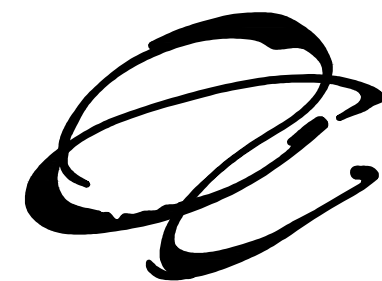
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DRAWING TITLE
8TH FLOOR
REFLECTED CEILING

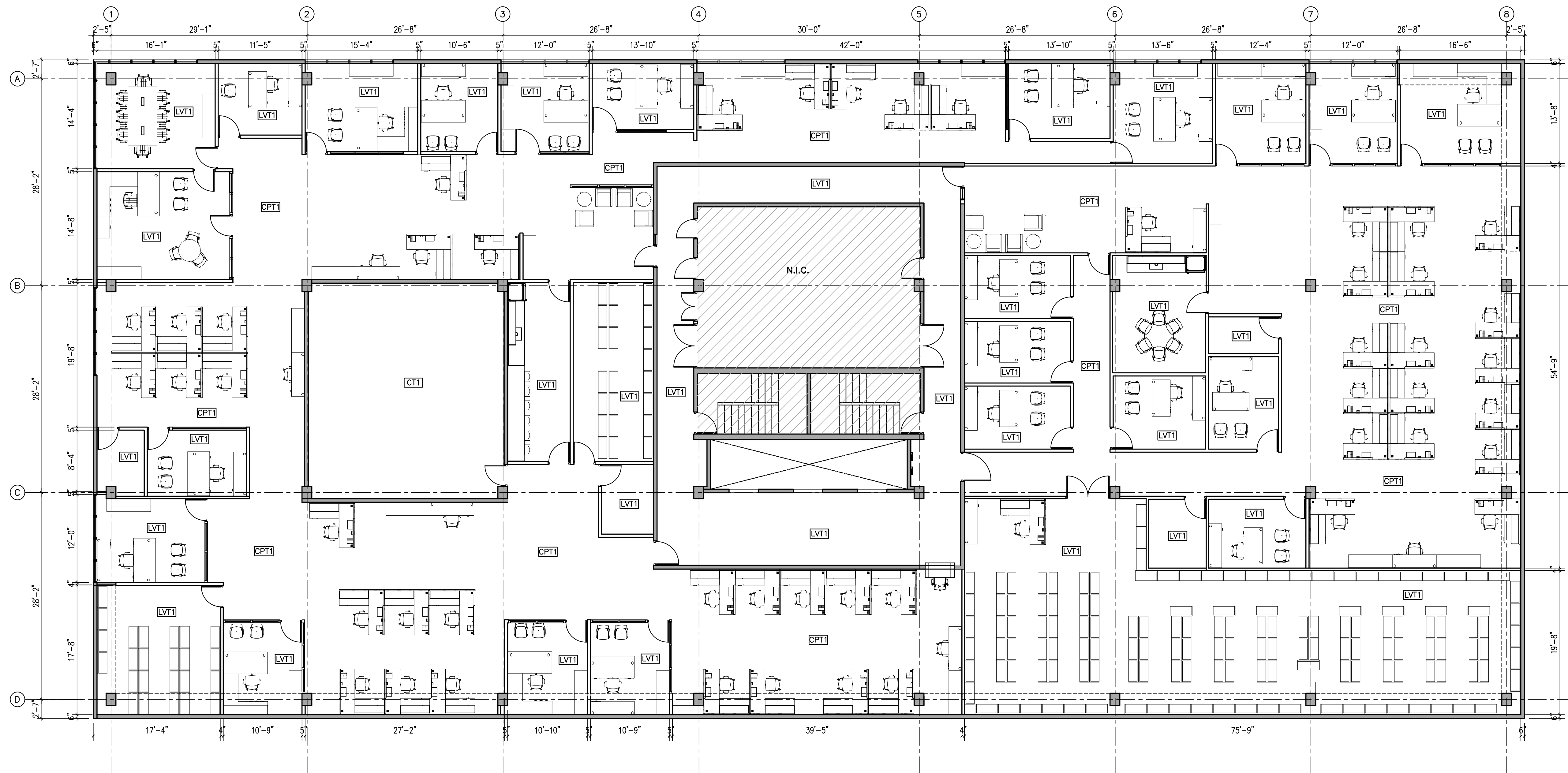
YO, HERNAN R. HERNANDEZ ARQUITECTO LICENCIADO, NUMERO DE LICENCIA 7847 CERTIFICO QUE SOY EL PROFESIONAL QUE DISEÑO ESTOS PLANOS Y LAS ESPECIFICACIONES COMPLEMENTARIAS. TAMBIEN CERTIFICO QUE ENTENDIENDO QUE DICHO PLANOS Y ESPECIFICACIONES CUMPLEN CON LAS DISPOSICIONES APPLICABLES DEL REGLAMENTO CONSUMO Y LAS DISPOSICIONES APPLICABLES DE LOS REGLAMENTOS Y CODIGOS DE LAS AGENCIAS, JUNTAS REGLAMENTADORAS O CORPORACIONES PUBLICAS CON JURISDICCION, RECONOZCO QUE CUALQUIER DESVIACION FALSA O FALSIFICACION DE LOS HECHOS QUE SE HAYA PRODUCIDO SIN CONOCIMIENTO O POR NEGLIGENCIA YA SEA POR MI, MIS AGENTES O EMPLEADOS, O POR OTRAS PERSONAS CON MI CONOCIMIENTO, ME HACEN RESPONSABLE DE CUALQUIER ACCION JUDICIAL Y DISCIPLINARIA POR LA COPA Y OTRAS AUTORIDADES COMPETENTES, INCLUYENDO, PERO SIN LIMITARSE, A LA TERMINACION DE LA PARTICIPACION EN LOS PROCEDIMIENTOS DE CERTIFICACION PROFESIONAL EN LA COPA



SCALE AS NOTED	DRAWING No. A-1.1
PROJECT No.	SHEET No.
DATE	

IMPROVEMENTS ACAA BUILDING 8TH FLOOR
255-273 AVENIDA DE LA CONSTITUCION
SAN JUAN, PUERTO RICO

REVISIONS		
No.	DESCRIPTION	DATE
1	ADDENDA	1-23-23

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WWW.ABACUSARQ.COMPARTNER IN CHARGE
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DRAWN BYDRAWING TITLE
8TH FLOOR FURNITURE
LAYOUT PLANSCALE
1/8"=1'-0"
PROJECT No.
A-1.2
DATE
SHEET No.

8TH FLOOR FURNITURE LAYOUT PLAN

SCALE: 1/8" = 1'-0"

NOTES:

1. GC SHALL COORDINATE WITH CLIENT FOR NEW FURNITURE BUYOUT AND INSTALLATION.

FINISH NOTES:

TRANSITION STRIPS WERE OCCURS:

800 IMPERIAL REDUCER 1/4" BY MANNINGTON COMMERCIAL

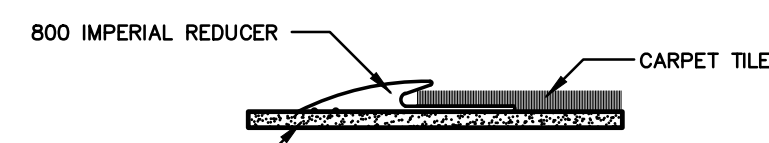
1-1/4" TRANSITION REDUCER. FOR GLUE DOWN CARPET: 1/4" UNDERCUT. CAN BE TRIMMED TO BUTT TO RESILIENT TILE.

930 SNAP-DRAGON T BY MANNINGTON COMMERCIAL

SNAP-IN T MOLDING. JOINS 1/4" OR 5/16" MATERIAL ON EACH SIDE. USE METAL TRACK ONLY."

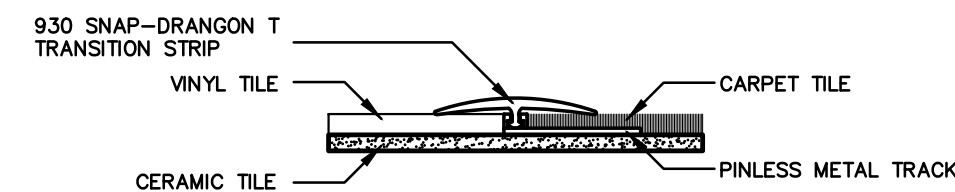
PINLESS METAL TRACK BY MANNINGTON COMMERCIAL

DESIGNED TO INSTALL T MOLDINGS 360, 365, 930, 935 AND 940. ALUMINUM.



DETAIL MKD. CARPET TO CERAMIC TILE

SCALE: N.T.S.

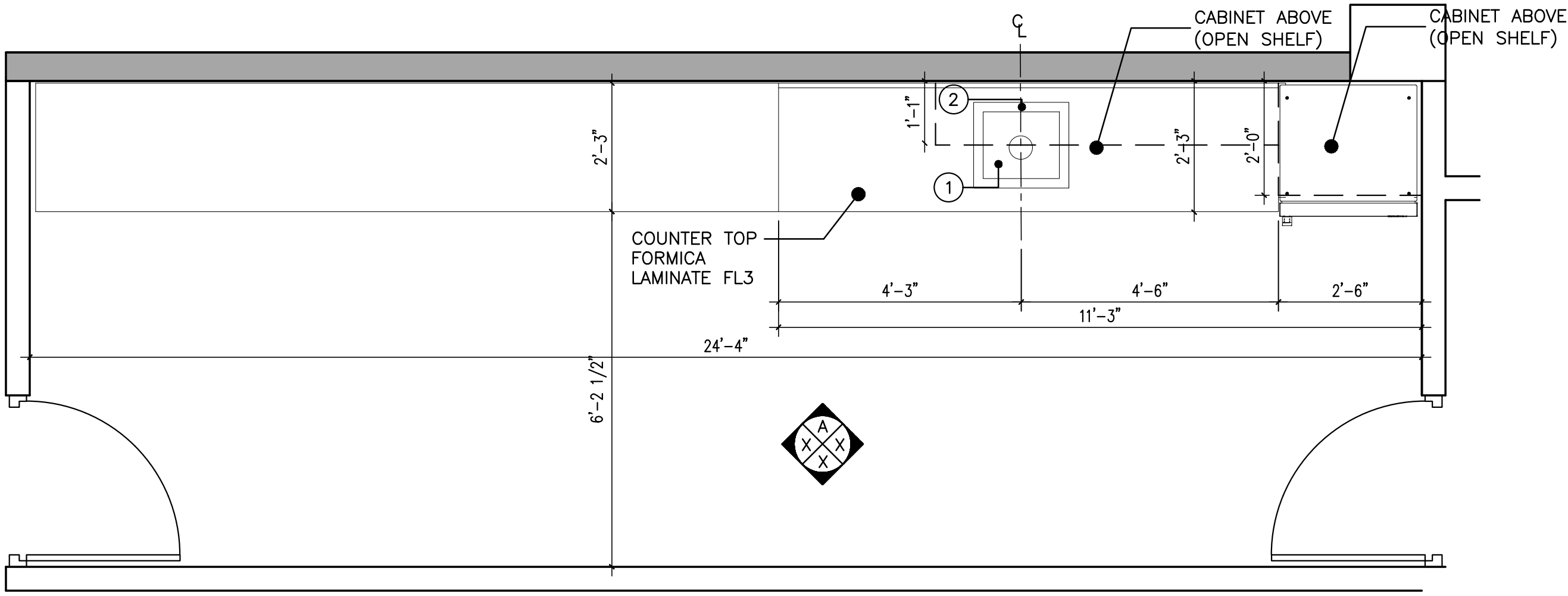
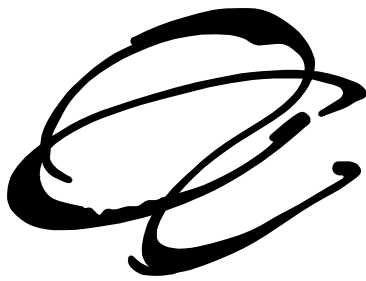


DETAIL MKD. VINYL TO CARPET TILE

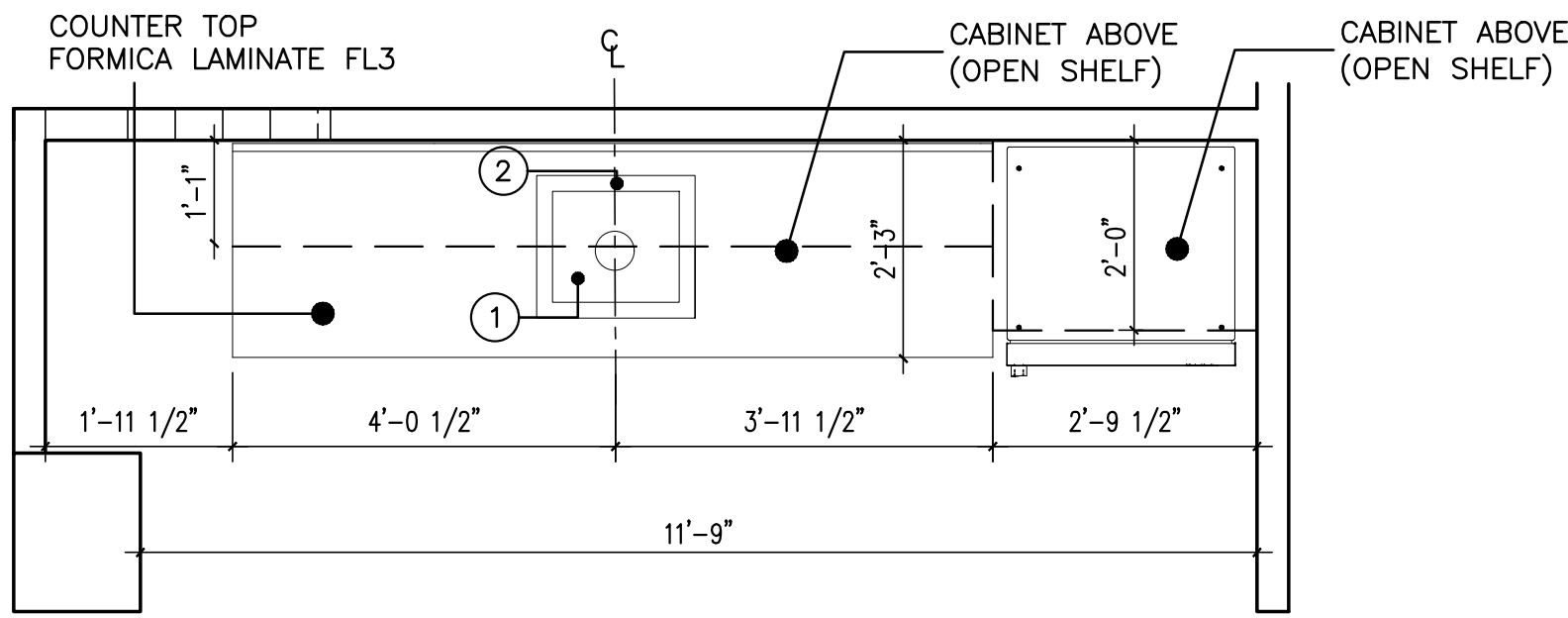
SCALE: N.T.S.

YO, HERNAN R. HERNANDEZ ARQUITECTO LICENCIADO. NUMERO DE LICENCIA 7847. CERTIFICO QUE SOY EL PROFESIONAL QUE DISEÑO ESTOS PLANOS Y LAS ESPECIFICACIONES COMPLEMENTARIAS. TAMBIEN CERTIFICO QUE ENTENDO QUE DICHOS PLANOS Y ESPECIFICACIONES CUMPLEN CON LAS DISPOSICIONES APLICABLES DEL REGLAMENTO CONSULTIVO Y LAS DISPOSICIONES APLICABLES DE LOS REGLAMENTOS Y CODIGOS DE LAS AGENCIAS, JUNTAS REGULADORAS O CORPORACIONES PUBLICAS CON JURISDICCION. RECONOZCO QUE CUALQUIER DESVIACION FALSA O FALSIFICACION DE LOS HECHOS QUE SE HAYA PRODUCIDO SIN CONOCIMIENTO O POR NEGLIGENCIA YA SEA POR MI, MIS AGENTES O EMPLEADOS, O POR OTRAS PERSONAS CON MI CONOCIMIENTO, ME HACEN RESPONSABLE DE CUALQUIER ACCION JUDICIAL Y DISCIPLINARIA POR LA COPIA Y OTRAS AUTORIDADES COMPETENTES, INCLUYENDO, PERO SIN LIMITARSE, A LA TERMINACION DE LA PARTICIPACION EN LOS PROCEDIMIENTOS DE CERTIFICACION PROFESIONAL EN LA OGPB.

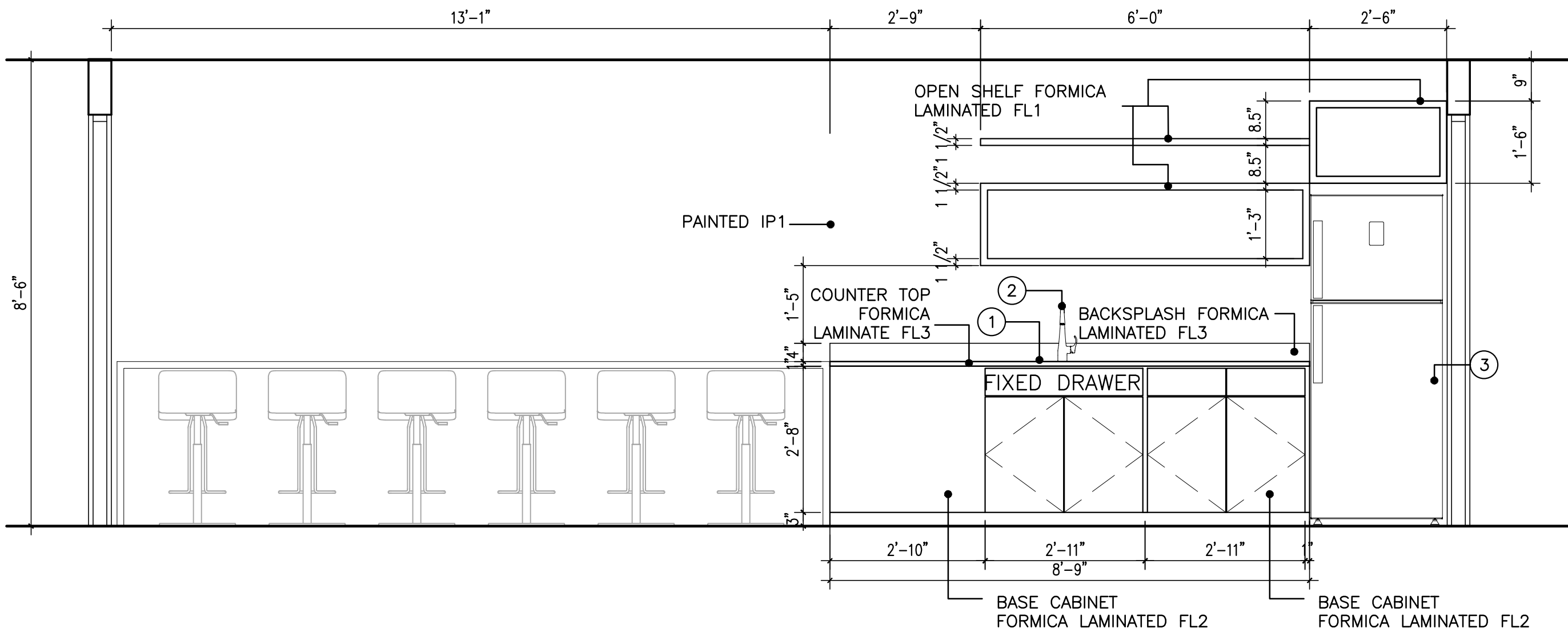
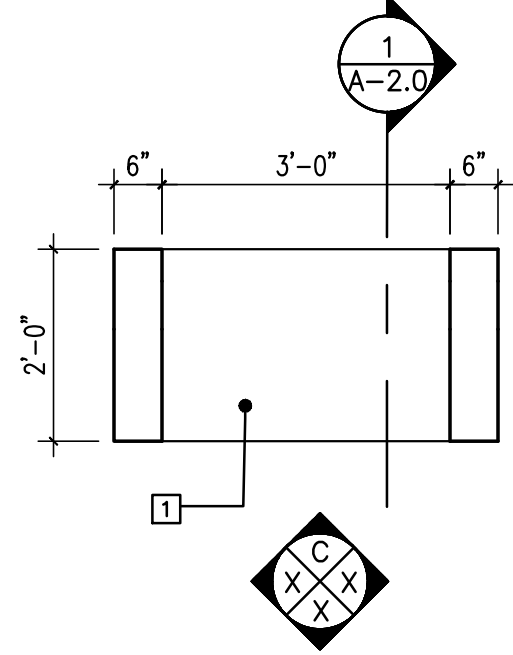




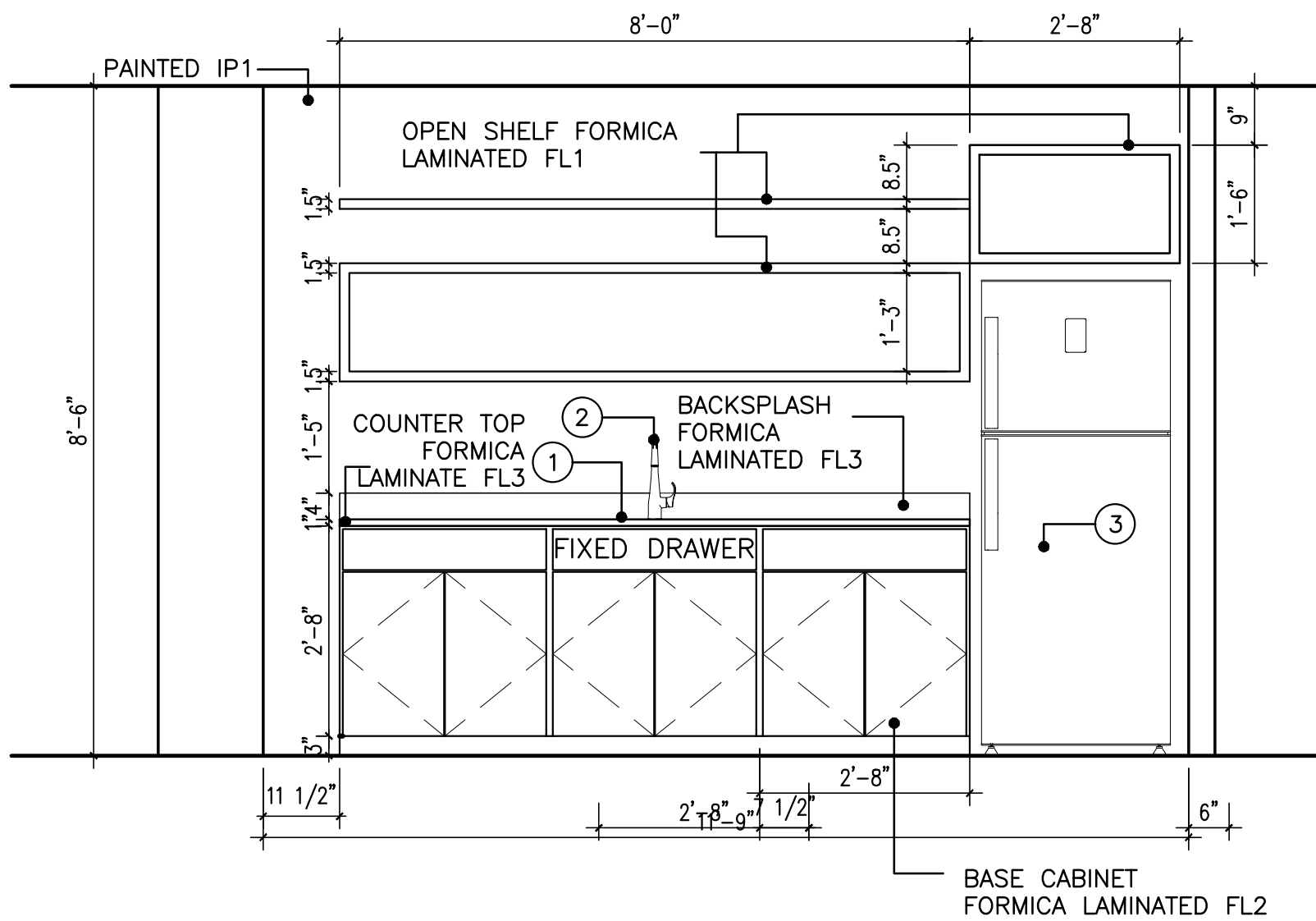
1
A-2.0 KITCHENETTE @ ROOM 824
SCALE: 1/2" = 1'-0"



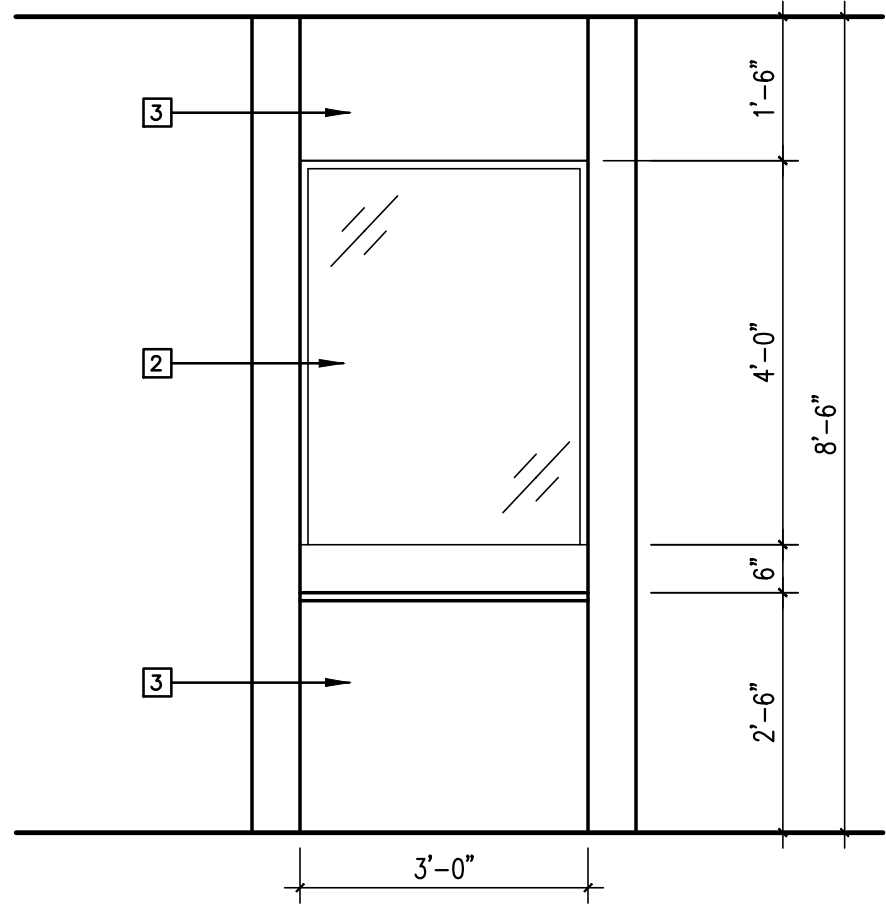
2
A-2.0 KITCHENETTE @ ROOM 841
SCALE: 1/2" = 1'-0"



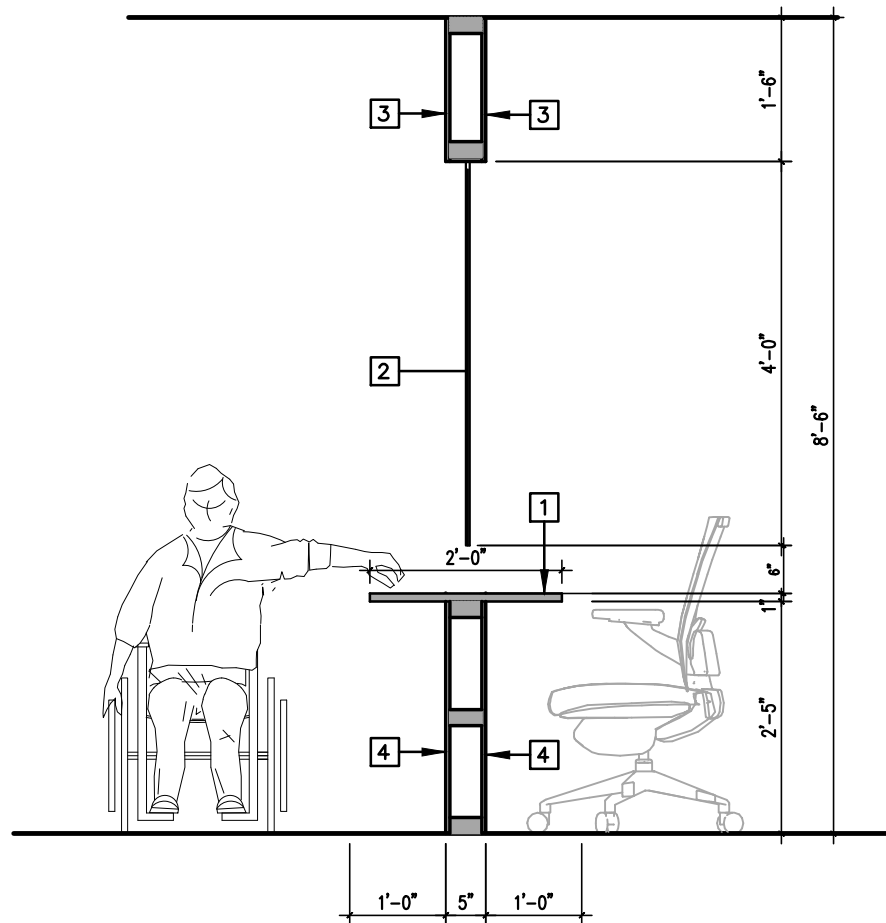
A
A-2.0 ELEVATION
SCALE: 1/2" = 1'-0"



B
A-2.0 ELEVATION
SCALE: 1/2" = 1'-0"



C
A-2.0 ELEVATION
SCALE: 1/2" = 1'-0"



1
A-2.0 SECTION A
SCALE: 3/4" = 1'-0"

NOTES:

- CONTRACTOR SHALL PREPARE SHOP DRAWINGS AND SAMPLES FOR APPROVAL
- ALL CABINETRY SHALL BE CONSTRUCTED WITH $\frac{3}{4}$ " PVC PANEL AND FINISH (ALL VISIBLE SURFACES) WITH PLASTIC LAMINATE, INCLUDING INTERIOR SURFACES OF CABINET AND SHELVES INCLUDING DRAWER INTERIOR UNLESS SOMETHING ELSE IS INDICATED. COLOR AS SPECIFIED.

FINISHES:

- FL1: FORMICA 8795 COLOR MATRIX BLUE SWATCH
- FL2: FORMICA 927 FOLKSTONE SWATCH
- FL3: FORMICA 961 FOG SWATCH
- FL4: FORMICA 8862 LIVELY WALNUT
- FL5: FORMICA 912 STORM SWATCH

EQUIPMENT AND ACCESORIES SCHEDULE		
MARK	DESCRIPTION	MODEL
1	SINK	TO BE FURNISHED BY OWNER
2	SINK FAUCET	TO BE FURNISHED BY OWNER
3	REFRIGERATOR	TO BE FURNISHED BY OWNER
4	WINE COOLER	TO BE FURNISHED BY OWNER
5	TV	TO BE FURNISHED BY OWNER

LEGEND:

- 1 PLASTIC LAMINATE FL5
- 2 $\frac{1}{4}$ " CLEAR SECURITY GLASS.SEE DOOR & WINDOW SCHEDULE FOR MORE INFO.
- 3 TWO COATS OF INTERIOR PAINT OVER PRIMER (IP1)

YO, HERNAN R. HERNANDEZ ARQUITECTO LICENCIADO, NUMERO DE LICENCIA 1947, CERTIFICO QUE SOY EL PROFESIONAL QUE DESARROLLE ESTE PLANO Y LAS ESPECIFICACIONES COMPLEMENTARIAS, TAMBIEN CERTIFICO QUE ENTENDO QUE SON PLAN Y LAS ESPECIFICACIONES COMPLETAS DE LAS DISPOSICIONES APLICABLES DEL REGLAMENTO CONANTO Y LAS DISPOSICIONES APPLICABLES DE LOS REGLAMENTOS Y CODICES DE LAS AGENCIAS, ANTE EL AMBIENTE DE TRABAJO Y CORRESPONDENCIAS DE LAS DISPOSICIONES, RECONOCIENDO QUE CUALQUIER DECLARACION FALSA O FALSIFICACION DE LOS HECHOS QUE SE HAN PRESENTADO EN EL CONOCIMIENTO O POR RESIDENCIA YA SEA POR MI O AGENTES O EMPLEADOS, O POR OTRAS PERSONAS O MI CONCURRENTE, ME HACIA RESPONSABLE E DE CUALQUIER ACCION JUDICIAL Y DISCIPLINARIA POR LA OBRAS Y OTROS AUTORES DE COMESTIBLES, INCLUIDO, PERDIDA DE LIBERTAD, A LA TERMINACION DE LA PARTICIPACION EN LOS PROCEDIMIENTOS DE CERTIFICACION PROFESIONAL EN LA OBRAS.



SCALE 1/2"=1'-0"	DRAWING No. A-2.0
PROJECT No.	SHEET No.
DATE	